



AGENDA

REGULAR MEETING OF THE CAPE CORAL CHARTER SCHOOL GOVERNING BOARD

Tuesday, April 9, 2019

City of Cape Coral Council Chambers

5:30 PM

1. CALL TO ORDER

A. Chairman Michael Campbell

2. MOMENT OF SILENCE:

A. Chairman Campbell

3. PLEDGE OF ALLEGIANCE:

A. Chairman Campbell

4. ROLL CALL:

A. Governing Board Reorganization: Chairman Campbell

5. APPROVAL OF MINUTES:

A. Approval of the Regular Governing Board Minutes, March 12, 2019

6. APPROVAL OF AGENDA REGULAR MEETING:

A. Approval of the Agenda for the Regular Governing Board Meeting,
April 9, 2019

7. PUBLIC COMMENT:

A. Public Comment is limited to three(3) minutes per individual; 45
minutes total comment time.

8. CONSENT AGENDA:

9. SUPERINTENDENT REPORT:

A. Superintendent's Report - Jacquelin Collins

10. CHAIRMAN REPORT:

A. New Chairman's Address

B. New Member Welcome and Introduction - Chairman

11. FOUNDATION REPORT:

A. Gary Cerny, Foundation President

12. STAFF COMMENT:

A. Transportation Department Update - Bill Wolter, Director of Transportation

B. Progress Report - Donnie Hopper, Principal, Oasis Middle School

C. Progress Report - Dr. Christina Britton, Principal, Oasis High

13. UNFINISHED BUSINESS:

A. Discussion of CME Portable Replacement Project Options and Cost Estimates - Superintendent Collins and MaryAnne Moniz, Business Manager

14. NEW BUSINESS:

A. Discussion and Adoption of New Language for NEOLA POLICY 6210-FISCAL PLANNING - MaryAnne Moniz, Business Manager

15. FINAL BOARD COMMENT AND DISCUSSION:

A. Governing Board Master Calendar - Board Chairman

16. TIME AND DATE OF NEXT MEETING

A. The next Regular Governing Board Meeting will be held on Tuesday, May 14, 2019 at 5:30p.m. in Cape Coral City Council Chambers, 1015 Cultural Park Blvd., Cape Coral, FL 33990

B. The CSA Budget Workshop will be held on Thursday, April 11, 2019 from 8:00 a.m. to 1:00 p.m. at City of Cape Coral - Nicholas Annex, Green Room A-200, 815 Nicholas Parkway, Cape Coral, FL 33990

17. ADJOURNMENT:

Members of the audience who address the Board/Commission/Committee shall step up to the speaker's lectern and give his/her full name, address and whom he/she represents. Proper decorum shall be maintained at all time. Any audience member who is boisterous or disruptive in any manner to the conduct of this meeting shall be asked to leave or be escorted from the meeting room.

In accordance with the Americans with Disabilities Act and SS 286.26, Florida Statutes, persons needing a special accommodation to participate in this proceeding should contact the Human Resources Department whose Office is located at Cape Coral City Hall, telephone 1-239-574-0530 for assistance; if hearing impaired, telephone the Florida Relay Service Numbers, 1-800-955-8771 (TDD) or 1-800-955-8700 (v) for assistance. In accordance with Florida Statute 286.0105: any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is based.

Item Number:	1.A.
Meeting Date:	4/9/2019
Item Type:	CALL TO ORDER

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Chairman Michael Campbell

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 2.A.

Meeting Date: 4/9/2019

Item Type: MOMENT OF SILENCE:

AGENDA REQUEST FORM

City Of Cape Coral Charter School Authority

TITLE:

Chairman Campbell

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 3.A.

Meeting
Date: 4/9/2019

Item Type: PLEDGE OF
ALLEGIANCE:

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

Chairman Campbell

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number:	4.A.
Meeting Date:	4/9/2019
Item Type:	ROLL CALL:

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Governing Board Reorganization: Chairman Campbell

SUMMARY:

Both the Chairman and the Vice-Chair terms end April 10, 2019. The Board will have to reorganize by vote before further business.

ADDITIONAL INFORMATION:

The Board must follow the reorganization format attached.

RECOMMENDED ACTION:

After the new Chairman and Vice-Chair have been determined, the agenda will move forward *per usual*.

ATTACHMENTS:

Description	Type
▣ BOARD REORGANIZATION APRIL 2019	Backup Material

REORGANIZATION OF BOARD:

Procedure to elect a Chairman:

- Only the voting board members can vote.
- Members make nominations and should *not* be seconded.
- After nominations are made a motion should be made to close nominations and will require a second and board vote.
- After nominations are closed, the board members will vote.
- The member with the highest number of votes will become chairman.
- Current Chair states that with # of votes Member _____ will take over as the newly elected chairman.
- It is customary in order to show support for the new chairman to hold a re-vote to make it unanimous.
- The newly elected chairman will assume the chair and follow the same procedure for electing the Vice Chairman.

Nominations for Chairman:

Motion made by member _____ to close nominations for chairman and seconded by member _____

Board vote:

- Member Campbell votes for
- Member Traiger votes for
- Member Metzger votes for
- Member Minaya votes for
- Member Mitchell votes for
- Member Nelson votes for
- Member Ticich votes for

Roll call is taken for voting members to vote by stating *yes* or *no* for member _____ to become Chairman:

- Campbell-
- Traiger-
- Metzger-
- Minaya-
- Mitchell-
- Nelson-
- Ticich-

Procedure to elect a Vice-Chairman:

- Only the voting board members can vote.
- Members make nominations and should *not* be seconded.
- After nominations are made a motion should be made to close nominations and will require a second and board vote.
- After nominations are closed, the board members will vote.
- The member with the highest number of votes will become Vice-Chairman.
- Current Chair states that with # of votes Member _____ will take over as the newly elected Vice-Chairman.
- It is customary in order to show support for the new Vice-Chairman to hold a re-vote to make it unanimous.
- The newly elected Vice-Chairman will assume the chair.

Nominations for Vice-Chairman:

Motion made by member _____ to close nominations for Vice-Chairman and seconded by member _____

Board vote:

- Member Campbell votes for
- Member Traiger votes for
- Member Metzger votes for
- Member Minaya votes for
- Member Mitchell votes for
- Member Nelson votes for
- Member Ticich votes for

Roll call is taken for voting members to vote by stating *yes* or *no* for member _____ to become Vice-Chairman:

- Campbell-
- Traiger-
- Metzger-
- Minaya-
- Mitchell-
- Nelson-
- Ticich-

Item Number: 5.A.

Meeting
Date: 4/9/2019

Item Type: APPROVAL OF MINUTES:

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

Approval of the Regular Governing Board Minutes, March 12, 2019

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number:	6.A.
Meeting Date:	4/9/2019
Item Type:	APPROVAL OF AGENDA REGULAR MEETING:

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

Approval of the Agenda for the Regular Governing Board Meeting, April 9, 2019

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 7.A. Meeting Date: 4/9/2019 Item Type: PUBLIC COMMENT:
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AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Public Comment is limited to three(3) minutes per individual; 45 minutes total comment time.

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number:	9.A.
Meeting Date:	4/9/2019
Item Type:	SUPERINTENDENT REPORT:

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

Superintendent's Report - Jacquelin Collins

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 10.A. Meeting Date: 4/9/2019 Item Type: CHAIRMAN REPORT:
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AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

New Chairman's Address

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 10.B.
Meeting Date: 4/9/2019
Item Type: CHAIRMAN REPORT:

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

New Member Welcome and Introduction - Chairman

SUMMARY:

New CSA Governing Board Members will be introduced to the Charter School Authority families and the public.

ADDITIONAL INFORMATION:

Introducing: Dr. Guido Minaya - Business Community

Dr. Minaya is the CEO and Chief Learning Officer of Minaya Learning Global Services LLC, a company he launched after serving in key executive and senior management roles with AT&T, Lucent Technologies, Avaya, and Accenture.

Guido (pronounced *ghee-dough*) is active in community relations, and has a passion for educational services, in particular. He is Chair of the Equity and Diversity Committee for Lee County Schools, and a member of both the Continuous Systemic Improvement and General Advisory committees. He is currently Vice Chair of the Children's Services Foundation of SW Florida, as well as the Vice Chair of the Greater Fort Myers Chamber of Commerce.

Besides his passion for providing communities with opportunities for their children to excel academically and thrive personally, Guido is also an avid boater and enjoys travelling. Welcome, Dr. Minaya!

Susan Mitchell - Community at Large

Ms. Mitchell brings to the Charter School Authority Governing Board more than 25 years of experience covering health planning, quality improvement, grant writing, and management of government, non-profits, and private sector businesses.

A graduate of the University of Florida, B.A., and Florida State University, M.S., Planning, Susan is currently the Director of Grants for Lee Health. She has also served on the boards of Healthy Start, McGregor Clinic, and South Florida Canoe and Kayak Club.

Besides enjoying outdoor activities with her family, Susan also has a passion for helping others reach their full potential, which is why she volunteers her expertise to agencies in need, as well as serves as an elder in her church. Welcome, Susan!

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RECOMMENDED ACTION:

Welcome!

Item Number: 11.A.

Meeting Date: 4/9/2019

Item Type: FOUNDATION REPORT:

AGENDA REQUEST FORM

City Of Cape Coral Charter School Authority

TITLE:

Gary Cerny, Foundation President

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 12.A. Meeting Date: 4/9/2019 Item Type: STAFF COMMENT:
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AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Transportation Department Update - Bill Wolter, Director of Transportation

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 12.B.
Meeting Date: 4/9/2019
Item Type: STAFF COMMENT:

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Progress Report - Donnie Hopper, Principal, Oasis Middle School

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 12.C.
Meeting Date: 4/9/2019
Item Type: STAFF COMMENT:

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Progress Report - Dr. Christina Britton, Principal, Oasis High

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number: 13.A.
Meeting Date: 4/9/2019
Item Type: UNFINISHED BUSINESS:

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Discussion of CME Portable Replacement Project Options and Cost Estimates - Superintendent Collins and MaryAnne Moniz, Business Manager

SUMMARY:

Discussion of the CME Portable Replacement Project Options and Cost Estimates.

ADDITIONAL INFORMATION:

This project was to go before the City Council for approval per the GB decision on November 14, 2018:

Motion made by Member Traiger, Second by Fisher. Approved; Unanimous

Item 13A.: Motion made to have MaryAnne Moniz, CSA Business Manager make a presentation to the City Council and receive their Approval of CME Portable Expansion Options 2 or Option 3, which was approved by a CSA Governing Board Unanimous Vote, including a Staff Recommendation for Option 2.

RECOMMENDED ACTION:

The Superintendent is recommending the Board votes for either demolition of the portables as scheduled, or an extension until funding issues have been resolved.

ATTACHMENTS:

Description	Type
▣ CME Portable Report Part 1-NOV 2018	Backup Material
▣ CME Portable Report Part 2-NOV 2018	Backup Material



Christa McAuliffe Charter Elementary School
Portable Replacement Report

November 13, 2018

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	a. Enrollment by School in Cape Coral	
	b. Population Growth Summary	
	c. Amortization Schedules for 15 Years: Options 2, 3, and 4	
	d. GradyMinor Due Diligence Research Report	

I. Overview

Cape Coral Charter Elementary School North, known today as Christa McAuliffe Elementary Charter School, was opened in August of 2006. Christa McAuliffe was the second of the City of Cape Coral Charter Schools to be built. The site consists of 8.49 acres of developed property and is located at the intersection of SW 29th Avenue and SW 3rd Street, adjacent to Jim Jeffers Community Park; more specifically, 2817 SW 3rd Lane, Cape Coral, FL. The school parcel is currently zoned Residential District (RD) and has a Future Land Use designation of Public Facilities (PF).

The initial Planned Development Project (PDP) 5-2005 approved the construction of a 41,075 square foot charter elementary school to accommodate 600 students. Two modular buildings consisting of 1,680 square feet were placed on the site in 2008. The two modular buildings did not require an amendment to the PDP since the square footage was within approved limits.

Resolution PDP 5-2005 was amended by Resolution PDP 1-2010 to allow for the placement of two additional modular buildings for a total of four modular buildings consisting of 3,360 square feet for a total of 44,435 square feet exceeding the allowable square footage. The amendment also provided that the number of allowable students to increase from 600 to 704, and that the modular buildings be removed no later than four years from the date of adoption, being April 7, 2014.

The school's original intent was to lease the modular units for five years. However, due to the economic downturn, the funding associated with the anticipated expansion was not available and the portables remained in place. In December of 2012, the Charter School Authority's Governance and original Administration approved the purchase of the portables in which it is believed that they were not aware of the previous condition on time limitations.

According to the manufacturer of the modular buildings, Scott Williamson, the units have a 15-20 year life expectancy providing the units are properly maintained. In March 2014, Resolution PDP 3-2014 was submitted by the Charter School Authority seeking an extension for the portables to remain on-site until they reached their full life expectancy so that the schools could begin formulating a future plan for the portables. The PDP was amended and approved with the understanding that the modular buildings are to be removed by January 1, 2020 and that all provisions and conditions contained in Resolution PDP 5-2005 and Resolution 1-2010 remain in full force and effect for the life of the development, except as otherwise stated in the Development Order.

On January 16, 2018, an agreement between the Cape Coral Charter School Authority and GradyMinor & Associates, P.A. was entered into for a staffing and cost proposal to provide the following:

1. Provide options for the replacement of the portable classroom building(s) (brick and mortar or portable) with pros and cons for all options.
2. Prepare a preliminary site plan of the replacement building(s).
3. Prepare a preliminary opinion of probable construction costs to remove the portable classrooms and construct the replacement building(s).
4. Review the Charter School's approved Planned Development Project (PDP) ordinance to assure the proposed site plan development work and construction complies with the ordinance.
5. Provide an updated opinion of probable construction costs for the agreed upon replacement building(s) concept.
6. Provide a preliminary opinion of probable costs for the design (Architectural and Engineering) of the decided upon replacement building(s) inclusive of the cost required for any amendments to the PDP, site plan preparation, building construction plans and permit applications.

GradyMinor presented their Due Diligence Research Report to the Governing Board on two separate occasions. In addition, Superintendent Collins and Principal Brown presented their recommendations at the September 11, 2018 Governing Board Meeting. At that time, the Governing Board requested additional information to include:

- A Population Growth Study
- A Full Capacity Timeline
- Return on Investment/Debt Schedules

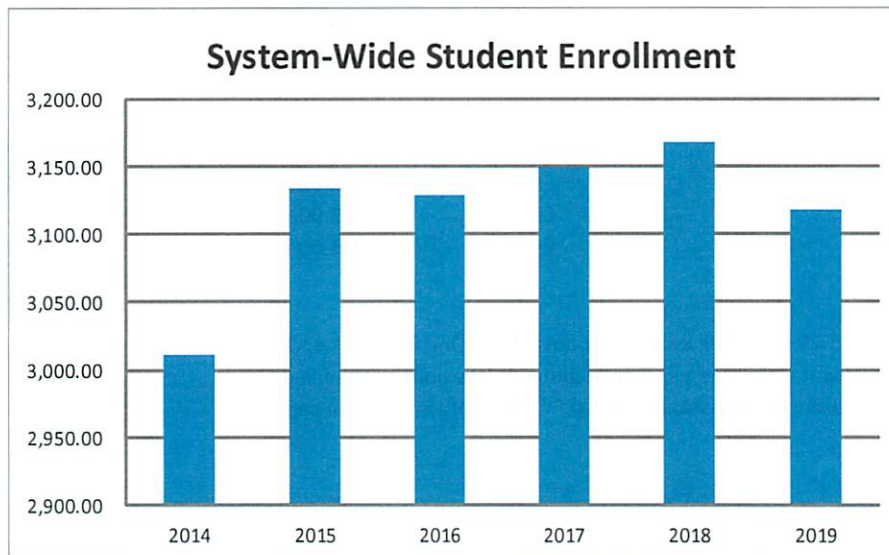
The purpose of this report is to provide such information and guidance to the Governing Board so that a final determination can be made regarding the portables. Once a decision is made, a recommendation can be brought forth to City Council for review and approval. Therefore, staff offers the following information for the Charter School Authority's Governing Board consideration:

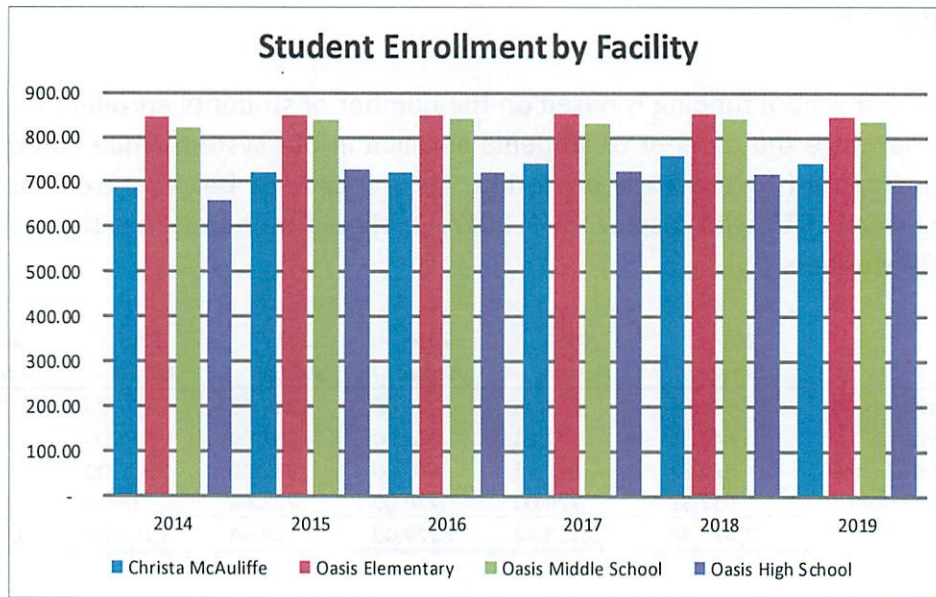
II. Enrollment

The majority of our school funding is based on the number of students enrolled; therefore, it is important to maximize the number of students enrolled in our system while adhering to class size limitations imposed by the State of Florida. As you can see below, enrollment has been relatively level since 2015 with a spike in FY 2017. It should be noted that these numbers do not include VPK students.

School	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Actual	2019 Actual
Christa McAuliffe	685.89	719.73	721.00	742.00	757.00	743.00
Oasis Elementary	846.34	847.14	848.00	851.00	852.00	846.00
Oasis Middle School	820.37	837.55	840.00	832.00	840.00	835.70
Oasis High School	657.88	729.00	720.00	723.64	718.00	692.88
Total:	3,010.48	3,133.42	3,129.00	3,148.64	3,167.00	3,117.58

While there has been no formal capacity study performed for Christa McAuliffe, staff feels current enrollment should not exceed 745 as the building stands today. This is based on student to teacher ratios as well as limited space. If an expansion is to occur, enrollment increases should be viewed by each construction option to analyze the financial impact associated.





Below is a table estimating the timeline for Christa McAuliffe Elementary to reach full enrollment capacity based on adding eight classrooms and the conversion of the VPK classroom:

School Year	LCSD Survey	No. of Students	+/- Change
FY 2015	5th	719.73	-
FY 2016	1st	721.00	-
FY 2017	1st	742.00	-
FY 2018	1st	757.00	-
FY 2019	2nd	743.00	-
FY 2020	Est.	803.00	60.00
FY 2021	Est.	823.00	20.00
FY 2022	Est.	843.00	20.00
Total:			100.00

Notes: In FY 2020 there will be 3 classrooms filled. One from VPK and two of the vacant 4 classrooms. One additional classroom will be filled in FY 2021 and the last classroom filled in FY 2022 until enrollment capacity is reached.

III. Waiting Lists

The following table comprises each school's waiting list at the end of September 2018. It is evident that without student growth, the expansion will not sustain those costs involved. While this project will add some capacity there is concern that not all seating will be filled as waiting lists are minimal.

If student growth is to occur for our schools, a marketing plan must be implemented to include radio and television advertisement campaigns. It is evident that we cannot just rely on population growth.

If seats cannot be filled, staff should consider alternative purposes for unfilled classroom space such as multi-purpose rooms, or designated space for art and music. If this does occur, revenues will need to be revisited as funding will be reduced.

It must be noted that as we move forward, waiting lists will change with grade level shifts.

Waiting Lists at September 2018

Grade	Christa McAuliffe	Oasis Elementary	Oasis Middle	Oasis High	Total by Grade
Kindergarten	-	20	-	-	20
1st	26	43	-	-	69
2nd	1	7	-	-	8
3rd	12	9	-	-	21
4th	-	1	-	-	1
5th	-	7	-	-	7
6th	-	-	8	-	8
7th	-	-	-	-	-
8th	-	-	4	-	4
9th	-	-	-	-	-
10th	-	-	-	1	1
11th	-	-	-	3	3
12th	-	-	-	-	-
Total by School:	39	87	12	4	142

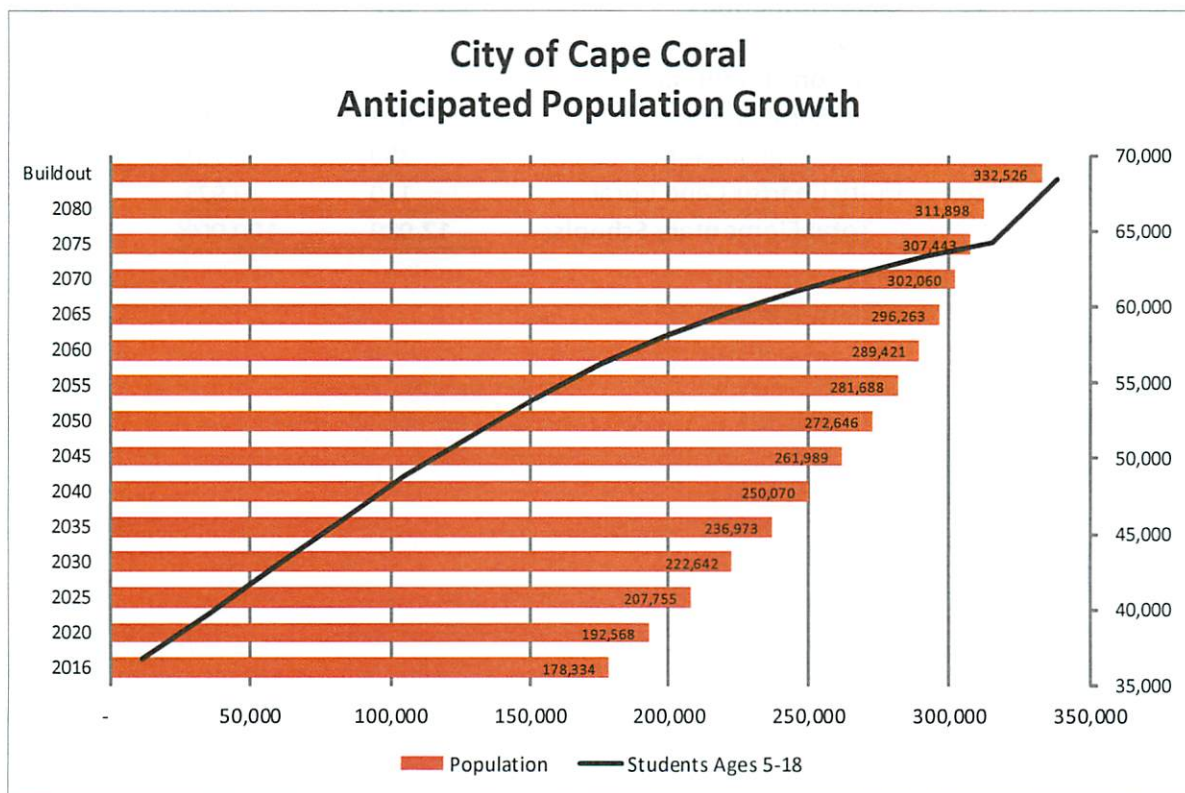
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IV. Population Growth

Cape Coral, Florida continues to be one of the fastest growing cities in the State of Florida. According to the U.S. Census Bureau, as of July 1, 2017 there is year-round population of an estimated 183,365 people. This is an increase of 29,058 from 154,307 in April 2010 or an increase of 18.8% over a 7 year span. It should be noted that persons between 5 years of age and 18 years remain consistent at 20.6% of total population or 37,773.19 in 2017.

In addition, the City of Cape Coral's Planning Division provided estimated growth rates in Cape Coral from 2016-2080. The data used in their analysis came from Metro Forecasting Models data. The chart below demonstrates population growth every 5-years beginning in 2016 until the City reaches its build-out. It should be noted that a 12% vacancy rate was used, as well as, an assumption that the average home comprises 2.5 people.

While total population growth was analyzed, it was identified that the largest growth is expected to be within the Northeast side of Cape Coral in the Gator Circle area. With that said, transportation of students will need to be considered.



As noted above, the U.S. Census Bureau reported that over a 7-year span, student population has remained consistent at 20.6%. The chart above is reflective of this 20.6% year after year.

Of the total 12,989 elementary student population (K-5) in Cape Coral, Christa McAuliffe services 745 students or 5.74% of K-5 student population, and is ranked 10 of the 18 schools with the most student population. Pre-kindergarten has been excluded from these numbers.

Rank	School	K-5 Students	% of K-5 Population
1	Gulf Elementary	1,092	8.41%
2	Diplomat Elementary	984	7.58%
3	Skyline Elementary	967	7.44%
4	Pelican Elementary	928	7.14%
5	Caloosa Elementary	909	7.00%
6	Oasis Elementary	855	6.58%
7	Hancock Creek Elementary	848	6.53%
8	Tropic Isles Elementary	846	6.51%
9	Trafalgar Elementary	772	5.94%
10	Christa McAuliffe	745	5.74%
11	Patriot Elementary	709	5.46%
12	Hector A Cafferata Jr Elementary	677	5.21%
13	Cape Elementary	672	5.17%
14	N. Fort Myers Academy	550	4.23%
15	Littleton Elementary	534	4.11%
16	Cape Coral Charter	422	3.25%
17	J Colin English Elementary	359	2.76%
18	Unity Charter Cape Coral	120	0.92%
Total Elementary Schools:		12,989	100.00%

V. Expansion Options and Cost Estimates

While a total of 5 options were previously presented, the Governing Board's direction was to specifically discuss Options 2 and 3; however, staff felt it necessary to include Option 4 as another possibility.

GradyMinor provided a cost estimate for each replacement option below:

Option	Description	Cost
1	Two Story Expansion with 16 Total Classrooms	\$6,100,938
2	Two Story Expansion with 8 Total Classrooms	\$3,316,917
3	Two Permanent Modular Buildings with 8 Total Classrooms	\$1,872,897
4	One Permanent Modular Building with 4 Total Classrooms	\$1,183,232
5	Remove Portables in their Entirety	\$25,000

Financial Impact

In order to understand the financial impacts relating to the portables, the following must be considered:

Voluntary Pre-Kindergarten

As previously discussed, it is the Authority's intent to eliminate the Voluntary Pre-Kindergarten Programs at both the Oasis Elementary and Christa McAuliffe Elementary Schools in school year FY 2019-2020. Since our primary focus is at the Christa Campus, the identical scenario provided below would apply at Oasis Elementary.

VPK provides services to 40 students in each program. There are 20 in the morning class and 20 in the afternoon. This program brings in an estimated \$98,026 annually; however, it is offset by the expenses primarily related to payroll (1 VPK Director, 1 Para). In addition, this program pays \$23,736 toward fiscal services. This fee is intended to cover rent, utilities, building and liability insurance, and administrative overheads as if the VPK Programs were a separate entity and the fee is credited back to the respective schools general operations. This equates to \$98.88 per FTE.

Converting the VPK program to 20 regular full time students will allow the schools to bring in \$136,588 (95% of budget) in revenue or an increase of \$38,562 when compared to VPK. Both the teacher and para positions would still be required with the expansion options in which there would be no net effect. However, it should be noted that the schools would be responsible for the fiscal service expense currently credited back by the VPK Program.

Cost Estimates

The following pages provide further detail and a breakdown of cost estimates for each option considered.

Base Assumptions

The following base assumptions were used in calculating revenue estimations:

Average FEFP Funding per FTE at Christa McAuliffe today:	\$7,188.82
FEFP reflects an average increase of \$100 each year.	
Voluntary Pre-Kindergarten Funding per student:	\$2,450.65 or \$4.53/Hour
Total VPK Funding for Christa McAuliffe based on 20 FTE:	\$98,026
Revenue is estimated at 95% per Financial Policy.	

Start-up Costs

The following tables demonstrate those expenditures that were taken into consideration for startup costs as well as estimated fixed costs. These include Personnel, Operating, and Debt Service on an annual basis. Personnel costs include a three percent increase year to year as well as any additional staff. Operating costs were calculated using start-up costs as well as fixed costs including anticipated increases to building insurance, textbooks, software, etc. Finally, debt was calculated using the 15 year amortization schedules as provided in the appendices section of this report.

It should be noted that these tables are used for calculations in all options provided with the exception of changes to Debt Service.

Description	Initial Start-Up Costs			
	Year 1	Year 1	Year 2	Year 3
	40 Students 2 Classrooms	20 Students VPK Conv	20 Students	20 Students
Insurance (Building, Gen Liab)	\$ 10,000	\$ -	\$ -	\$ -
Chairs	3,200	1,600	1,600	1,600
Chromebooks	12,000	6,000	6,000	6,000
Data Access Meraki	1,200	600	600	600
Desks	5,000	2,500	2,500	2,500
Docucams	1,200	600	600	600
Fiscal Services	23,736	-	-	-
Projectors	1,000	500	500	500
Safety Equipment	1,000	500	500	500
Smartboards	3,000	1,500	1,500	1,500
Software	10,000	5,000	5,000	5,000
Supplies	10,000	5,000	5,000	5,000
Tables/Cabinets/Shelving	4,000	2,000	2,000	2,000
Teacher Computers/Printers	2,000	1,000	1,000	1,000
Teacher Desk	1,000	500	500	500
Telephones	160	80	80	80
Textbooks	20,000	10,000	10,000	10,000
Utilities	2,000	-	-	-
	\$ 110,496	\$ 37,380	\$ 37,380	\$ 37,380
Contingency 20%	22,099	7,476	7,476	7,476
Total	\$ 132,595	\$ 44,856	\$ 44,856	\$ 44,856

Description	Fixed Costs			
	Year 2 Fixed	Year 3 Fixed	Year 4 Fixed	Year 5 Fixed
Insurance (Building, Gen Liab)	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000
Chairs				
Chromebooks				
Data Access Meraki				
Desks				
Docucams				
Fiscal Services	23,736	23,736	23,736	23,736
Projectors				
Safety Equipment				
Smartboards				
Software	7,000	7,000	7,000	7,000
Supplies	5,000	5,000	5,000	5,000
Tables/Cabinets/Shelving				
Teacher Computers/Printers				
Teacher Desk				
Telephones				
Textbooks	3,000	5,000	5,000	5,000
Utilities	2,000	2,000	2,000	2,000
	\$ 50,736	\$ 52,736	\$ 52,736	\$ 52,736
Contingency 20%	10,147	10,547	10,547	10,547
Total	\$ 60,883	\$ 63,283	\$ 63,283	\$ 63,283

Option 2 – Two Story Expansion with 8 Classrooms (Brick & Mortar)

Cost: \$3,316,917

A cost of itemized services and improvements can be found on page 15 of the GradyMinor's Due Diligence Research Report found in the Appendices Section of this report.

Option 2 - Two Story Expansion with 8 Classrooms (Brick & Mortar)

Enrollment	803	823	843	843	843
Students	60	80	100	100	100
FEFP Funding per FTE	\$ 7,289	\$ 7,389	\$ 7,489	\$ 7,589	\$ 7,689

Revenues	Year 1	Year 2	Year 3	Year 4	Year 5
Revenue VPK Conversion	\$ 138,491	\$ -	\$ -	\$ -	\$ -
Revenue Added Enrollment	276,982	561,564	711,455	720,955	730,455
Total Revenue:	\$ 415,473	\$ 561,564	\$ 711,455	\$ 720,955	\$ 730,455

Expenditures	Year 1	Year 2	Year 3	Year 4	Year 5
Payroll	\$ 218,558	\$ 288,975	\$ 361,504	\$ 372,349	\$ 372,674
Operating	177,451	105,739	108,139	63,283	63,283
Debt Service	298,689	292,750	295,906	293,969	293,969
Total Expenditures:	\$ 694,698	\$ 687,464	\$ 765,549	\$ 729,601	\$ 729,926
Use of Fund Balance:	\$ (279,225)	\$ (125,900)	\$ (54,094)	\$ (8,646)	\$ 529

Notes:

Revenue is estimated at 95% per Financial Policy.

Personnel consists of 3 Full Time Teachers and 1 Paraprofessional with a 3% increase year-to-year.

Option 3 – Two Permanent Modular Buildings with 4 Classrooms Each for a total of 8 Classrooms

Cost: \$1,872,897

A cost of itemized services and improvements can be found on page 16 of the GradyMinor's Due Diligence Research Report found in the Appendices Section of this document.

Option 3 - Two Permanent Modular Buildings with 4 Classrooms Each for a Total of 8 Classrooms

Enrollment	803	823	843	843	843
Students	60	80	100	100	100
FEFP Funding per FTE	\$ 7,289	\$ 7,389	\$ 7,489	\$ 7,589	\$ 7,689

Revenues	Year 1	Year 2	Year 3	Year 4	Year 5
Revenue VPK Conversion	\$ 138,491	\$ -	\$ -	\$ -	\$ -
Revenue Added Enrollment	276,982	561,564	711,455	720,955	730,455
Total Revenue:	\$ 415,473	\$ 561,564	\$ 711,455	\$ 720,955	\$ 730,455

Expenditures	Year 1	Year 2	Year 3	Year 4	Year 5
Payroll	\$ 218,558	\$ 288,975	\$ 361,504	\$ 372,349	\$ 372,674
Operating	177,451	105,739	108,139	63,283	63,283
Debt Service	168,669	167,219	168,469	169,531	170,266
Total Expenditures:	\$ 564,678	\$ 561,933	\$ 638,112	\$ 605,163	\$ 606,223
Use of Fund Balance:	\$ (149,205)	\$ (369)	\$ 73,343	\$ 115,792	\$ 124,232

Notes:

Revenue is estimated at 95% per Financial Policy.

Personnel consists of 3 Full Time Teachers and 1 Paraprofessional with a 3% increase year-to-year.

Option 4 – One Modular Building with 4 Classrooms

Cost: \$1,183,232

The one modular building with 4 classrooms would not add any additional students. Rather, the VPK classroom within the school would be converted to 20 students changing funding from VPK to FEFP. Start-up costs would be the conversion of VPK to 20 full time students such as textbooks, chairs, chrome books, etc.

Since this option was requested after GradyMinor provided their Due Diligence Report, it is not included in the Appendices Section. Below is an itemized breakdown of these costs:

Professional Services	\$	65,000
Site Improvements		134,650
Building Cost (1 Modular)		774,144
Replacement Option 4 Total:	\$	<u>973,794</u>
20% Contingency	\$	194,759
Application Fees		14,679
Grand Total Option 4:	\$	<u>1,183,232</u>

Option 4 - Replace 4 Portables with One Modular Building with 4 Classrooms

Enrollment	763	763	763	763	763
Students	20	-	-	-	-
FEFP Funding per FTE	\$ 7,289	\$ 7,389	\$ 7,489	\$ 7,589	\$ 7,689

Revenues	Year 1	Year 2	Year 3	Year 4	Year 5
Revenue VPK Conversion	\$ 138,491	\$ 140,388	\$ 142,288	\$ 144,191	\$ 146,091
Revenue Added Enrollment	-	-	-	-	-
Total Revenue:	\$ 138,491	\$ 140,388	\$ 142,288	\$ 144,191	\$ 146,091

Expenditures	Year 1	Year 2	Year 3	Year 4	Year 5
Payroll	\$ 63,000	\$ 64,890	\$ 66,837	\$ 68,842	\$ 70,907
Operating	79,339	34,483	34,483	34,483	34,483
Debt Service	112,141	108,031	105,594	108,156	110,391
Total Expenditures:	\$ 254,480	\$ 207,404	\$ 206,914	\$ 211,481	\$ 215,781
Use of Fund Balance:	\$ (115,989)	\$ (67,016)	\$ (64,626)	\$ (67,290)	\$ (69,690)

Notes: Revenue is estimated at 95% per Financial Policy; Personnel consists of 1 Full Time Teacher with a 3% increase year-to-year.

Option 5 – Remove All 4 Portables and Do Not Replace

The VPK classroom would be converted to a student classroom with funding converted from VPK to FEFP. This would present an increase in revenue of an estimated \$38,565.

Removal costs of all 4 portables are estimated at \$25,000.

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VI. Conclusion

Funding Options

At this time, staff has begun working with the City of Cape Coral Finance Department to assist in obtaining debt schedules for each option. Formal amortization schedules can be found in the Appendices Section of this report.

If it is determined to remove the existing portables the costs would be sustained within the existing budgets.

Items for Consideration

- Time – time must be considered if project is to go out to bid.
- Students in Portables – existing students in the portables will need to be relocated to existing school facilities during the construction of the expansion in all options.
- Transportation - As noted above, if student population is to grow a major factor that must be considered is the additional need and cost of student transportation.
- Food Services – Will the existing cafeteria accommodate the increased number of students? With the addition of increased students, food costs will increase.
- Personnel – Will any additional personnel be needed with the increased number of students such as cafeteria help or office staff?
- Media Center – existing space be limited and may not accommodate the increased number of students.
- Custodial – With the addition of 8 classrooms, increased custodial staff may be necessary.
- Student Schedules – with additional students, classroom schedules may need to be revised.
- Amendment of School Charter due to increased student capacity.

Associated Risks

There are a number of inherent risks associated with the expansion of Christa McAuliffe Campus. These include:

- A potential decrease in FEFP due to economic conditions
- No guarantee with revenue associated with the Public Education Capital Outlay Program (PECO)
- No guarantee with revenue associated with FEFP increase year-to-year
- Maintaining existing and future enrollment levels
- Construction delays that would cause the building/modular not to be completed by the start of school year
- State Legislative changes that may impact class sizes, academic requirements, etc.

Recommendation

It is staff's recommendation that the Governing Board approves the expansion of Option 2 or 3 with a build-out of 8-classrooms. This would accommodate the existing level of student population and foster future growth of our system.

In the event we are unable to fill seats, rooms would be used as multi-purpose areas to build on arts, music, and drama programs to name a few. If nothing is done we will need to remove the portables decreasing our current revenues and limiting growth of our schools.

Following the Governing Board's recommendation, staff will work with the City of Cape Coral and GradyMinor to begin presenting the proposal to City Council.

Appendices

- a. Enrollment by School in Cape Coral (aka West Zone)
- b. Population Growth Summary
- c. Amortization Schedules for 15 Years: Options 2, 3, and 4
- d. GradyMinor Due Diligence Research Report

a. Enrollment by School in Cape Coral

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
WEST ZONE

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	----- TOT ENRL	F/R LUNCH ENRL %TOT	MINORITY ENRL %TOT
0571	CALOOSA ELEMENTARY	965	445 46	566 59
	PK	56	34 61	37 66
	KG	141	62 44	84 60
	01	141	76 54	81 57
	02	135	59 44	75 56
	03	171	67 39	99 58
	04	168	75 45	108 64
	05	153	72 47	82 54
0131	CAPE ELEMENTARY	673	256 38	275 41
	PK	1	1 100	0 0
	KG	112	51 46	54 48
	01	111	41 37	39 35
	02	98	33 34	41 42
	03	94	34 36	30 32
	04	110	39 35	44 40
	05	147	57 39	67 46
0771	DIPLOMAT ELEMENTARY	984	402 41	511 52
	KG	152	67 44	74 49
	01	149	65 44	90 60
	02	168	76 45	87 52
	03	182	74 41	92 51
	04	175	67 38	90 51
	05	158	53 34	78 49
0672	GULF ELEMENTARY	1103	356 32	434 39
	PK	11	5 45	4 36
	KG	173	61 35	52 30
	01	165	50 30	62 38
	02	168	59 35	72 43
	03	210	73 35	92 44
	04	191	57 30	77 40
	05	185	51 28	75 41
0801	HANCOCK CREEK ELEMENTARY	860	468 54	353 41
	PK	12	8 67	10 83
	KG	129	82 64	63 49
	01	140	79 56	61 44
	02	138	76 55	54 39
	03	150	78 52	54 36
	04	139	68 49	52 37
	05	152	77 51	59 39

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
WEST ZONE

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	----- TOT ENRL	F/R ENRL	LUNCH %TOT	MINORITY ENRL	%TOT
0712	HECTOR A CAFFERATA JR ELE	677	365	54	451	67
	KG	94	56	60	70	74
	01	101	51	50	71	70
	02	111	58	52	70	63
	03	132	71	54	89	67
	04	100	56	56	65	65
	05	139	73	53	86	62
0261	J COLIN ENGLISH ELEM	440	330	75	236	54
	PK	81	76	94	45	56
	KG	73	55	75	37	51
	01	72	48	67	34	47
	02	47	30	64	26	55
	03	59	42	71	38	64
	04	42	32	76	22	52
	05	66	47	71	34	52
0791	LITTLETON ELEM	550	335	61	271	49
	PK	16	11	69	11	69
	KG	92	65	71	49	53
	01	91	58	64	37	41
	02	91	49	54	39	43
	03	84	42	50	39	46
	04	69	48	70	36	52
	05	107	62	58	60	56
0601	N FT MYERS ACAD	550	237	43	249	45
	KG	73	33	45	36	49
	01	77	36	47	32	42
	02	93	39	42	42	45
	03	88	44	50	45	51
	04	98	40	41	39	40
	05	121	45	37	55	45
0461	PATRIOT ELEMENTARY	728	346	48	360	49
	PK	19	12	63	13	68
	KG	110	46	42	58	53
	01	110	60	55	46	42
	02	120	56	47	66	55
	03	140	69	49	59	42
	04	106	50	47	64	60
	05	123	53	43	54	44

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
WEST ZONE

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	----- TOT ENRL	F/R LUNCH ENRL %TOT	MINORITY ENRL %TOT
0641	PELICAN ELEMENTARY	969	410 42	441 46
	PK	41	15 37	13 32
	KG	146	66 45	63 43
	01	149	54 36	77 52
	02	146	64 44	62 42
	03	169	79 47	82 49
	04	141	64 45	62 44
	05	177	68 38	82 46
0751	SKYLINE ELEMENTARY	1021	494 48	509 50
	PK	54	32 59	35 65
	KG	160	77 48	79 49
	01	159	69 43	77 48
	02	148	78 53	75 51
	03	170	87 51	94 55
	04	147	63 43	63 43
	05	183	88 48	86 47
0762	TRAFALGAR ELEMENTARY	793	218 27	333 42
	PK	21	12 57	10 48
	KG	113	31 27	50 44
	01	117	36 31	50 43
	02	121	25 21	50 41
	03	128	35 27	51 40
	04	141	37 26	59 42
	05	152	42 28	63 41
0391	TROPIC ISLES ELEMENTARY	907	535 59	469 52
	PK	61	45 74	33 54
	KG	129	79 61	71 55
	01	131	85 65	67 51
	02	112	70 63	63 56
	03	152	84 55	86 57
	04	153	87 57	79 52
	05	169	85 50	70 41
*TOTAL	ELEMENTARY/WEST ZONE	11220	5197 46	5458 49
	PK	373	251 67	211 57
	KG	1697	831 49	840 49
	01	1713	808 47	824 48
	02	1696	772 46	822 48
	03	1929	879 46	950 49
	04	1780	783 44	860 48

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
WEST ZONE

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	----- TOT ENRL	F/R LUNCH ENRL %TOT	MINORITY ENRL %TOT
*TOTAL ELEMENTARY/WEST ZONE				
05		2032	873 43	951 47
0572	CALOOSA MIDDLE	871	439 50	469 54
	06	296	147 50	172 58
	07	264	138 52	129 49
	08	311	154 50	168 54
0133	CHALLENGER MIDDLE	1089	427 39	558 51
	06	366	152 42	182 50
	07	347	141 41	195 56
	08	376	134 36	181 48
0772	DIPLOMAT MIDDLE	863	378 44	428 50
	06	291	137 47	140 48
	07	277	123 44	122 44
	08	295	118 40	166 56
0671	GULF MIDDLE	806	246 31	353 44
	06	260	71 27	107 41
	07	264	80 30	116 44
	08	282	95 34	130 46
0722	MARINER MIDDLE	1012	424 42	480 47
	06	355	152 43	167 47
	07	299	130 43	142 47
	08	358	142 40	171 48
0601	N FT MYERS ACAD	569	242 43	242 43
	06	185	81 44	74 40
	07	186	74 40	85 46
	08	198	87 44	83 42
0761	TRAFALGAR MIDDLE	916	248 27	393 43
	06	312	88 28	135 43
	07	291	74 25	127 44
	08	313	86 27	131 42
*TOTAL MIDDLE/WEST ZONE				
06		6126	2404 39	2923 48
		2065	828 40	977 47

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
WEST ZONE

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	TOT ENRL	F/R LUNCH ENRL %TOT	MINORITY ENRL %TOT
*TOTAL MIDDLE/WEST ZONE				
	07	1928	760 39	916 48
	08	2133	816 38	1030 48
0621	CAPE CORAL HIGH	1607	474 29	809 50
	09	438	143 33	221 50
	10	414	135 33	215 52
	11	379	98 26	198 52
	12	376	98 26	175 47
0861	IDA S. BAKER HIGH	1801	527 29	837 46
	09	434	127 29	196 45
	10	457	145 32	226 49
	11	462	128 28	212 46
	12	448	127 28	203 45
0491	ISLAND COAST HIGH SCHOOL	1687	717 43	847 50
	09	441	208 47	215 49
	10	420	186 44	216 51
	11	438	172 39	204 47
	12	388	151 39	212 55
0721	MARINER HIGH	1557	562 36	735 47
	09	388	172 44	190 49
	10	406	147 36	183 45
	11	391	125 32	179 46
	12	372	118 32	183 49
0311	NORTH FORT MYERS HIGH	1874	533 28	594 32
	09	438	133 30	141 32
	10	517	158 31	173 33
	11	465	134 29	133 29
	12	454	108 24	147 32
*TOTAL HIGH/WEST ZONE				
	09	8526	2813 33	3822 45
	10	2139	783 37	963 45
	11	2214	771 35	1013 46
	12	2135	657 31	926 43
	12	2038	602 30	920 45
*TOTALS FOR WEST ZONE				
	PK	25872	10414 40	12203 47
	KG	373	251 67	211 57
	KG	1697	831 49	840 49

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
CHRT/VRTL

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	TOT ENRL	F/R ENRL	LUNCH %TOT	MINORITY ENRL	%TOT
4221	ACCELERATION MDL CHARTER	59	43	73	40	68
	06	3	3	100	2	67
	07	14	10	71	11	79
	08	42	30	71	27	64
4305	ATHENIAN ACADEMY	12	9	75	4	33
	KG	7	5	71	3	43
	01	4	3	75	1	25
	02	1	1	100	0	0
4102	BONITA SPRINGS CHARTER	1297	558	43	618	48
	KG	124	40	32	56	45
	01	140	76	54	62	44
	02	150	70	47	82	55
	03	141	58	41	56	40
	04	137	54	39	65	47
	05	163	67	41	77	47
	06	156	76	49	78	50
	07	152	63	41	76	50
	08	134	54	40	66	49
4111	CAPE CORAL CHARTER	634	367	58	470	74
	PK	53	20	38	39	74
	KG	79	53	67	59	75
	01	53	36	68	37	70
	02	78	44	56	59	76
	03	87	55	63	57	66
	04	66	45	68	52	79
	05	59	33	56	47	80
	06	60	31	52	43	72
	07	56	30	54	44	79
	08	43	20	47	33	77
4151	CHRISTA MCAULIFFE ELEM	785	227	29	271	35
	PK	40	7	18	12	30
	KG	120	42	35	43	36
	01	122	37	30	47	39
	02	121	23	19	35	29
	03	125	46	37	49	39
	04	143	48	34	54	38
	05	114	24	21	31	27

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
CHRT/VIRTL

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	TOT ENRL	F/R LUNCH ENRL %TOT	MINORITY ENRL %TOT
4261	GATEWAY CHARTER INTERMED			
	07	212	83 39	138 65
	08	221	99 45	154 70
4304	HARLEM HEIGHTS CHARTER	79	76 96	78 99
	KG	17	16 94	17 100
	01	24	24 100	24 100
	02	20	20 100	19 95
	03	18	16 89	18 100
4274	ISLAND PARK CHARTER HS	336	4 1	206 61
	09	4	1 25	2 50
	10	27	1 4	21 78
	11	57	0 0	29 51
	12	248	2 1	154 62
7004	LEE CO VIRT SCHOOL FRANCH	283	21 7	75 27
	06	22	0 0	5 23
	07	29	6 21	13 45
	08	44	3 7	8 18
	09	36	0 0	11 31
	10	36	4 11	13 36
	11	61	4 7	15 25
	12	55	4 7	10 18
7023	LEE CO VIRTUAL INSTRU	45	8 18	25 56
	KG	5	0 0	1 20
	01	3	0 0	2 67
	02	10	4 40	8 80
	03	5	0 0	3 60
	04	9	3 33	3 33
	05	13	1 8	8 62
4242	NORTH NICHOLAS HIGH	243	5 2	108 44
	10	9	1 11	3 33
	11	43	2 5	20 47
	12	191	2 1	85 45
4303	NORTHERN PALMS CHARTER HS	133	64 48	41 31
	09	1	1 100	1 100
	10	6	4 67	2 33

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
CHRT/VRTL

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	TOT ENRL	F/R ENRL	LUNCH %TOT	MINORITY ENRL	%TOT
4303	NORTHERN PALMS CHARTER HS					
	11	33	17	52	4	12
	12	93	42	45	34	37
4281	OAK CREEK CHARTER BONITA	488	420	86	364	75
	KG	50	43	86	36	72
	01	68	59	87	54	79
	02	40	32	80	34	85
	03	57	48	84	39	68
	04	54	49	91	43	80
	05	51	47	92	43	84
	06	55	52	95	41	75
	07	64	51	80	41	64
	08	49	39	80	33	67
4181	OASIS CHARTER HIGH SCHOOL	702	180	26	189	27
	09	176	53	30	51	29
	10	180	43	24	48	27
	11	153	36	24	41	27
	12	193	48	25	49	25
4143	OASIS ELEMENTARY	895	225	25	268	30
	PK	40	6	15	14	35
	KG	141	35	25	37	26
	01	140	36	26	48	34
	02	141	30	21	37	26
	03	143	35	24	47	33
	04	145	30	21	41	28
	05	145	53	37	44	30
4171	OASIS MIDDLE	837	242	29	288	34
	06	298	81	27	106	36
	07	258	78	30	85	33
	08	281	83	30	97	35
4223	PALM ACRES CHARTER HS	258	125	48	204	79
	09	3	2	67	3	100
	10	17	10	59	11	65
	11	40	25	63	32	80
	12	198	88	44	158	80

STUDENT ENROLLMENT & ETHNIC COMPOSITION BY SCHOOL AND GRADE
CHRTR/VIRTL

SCHOOL YEAR: 18-19

----- NUM.	SCHOOL NAME	TOT ENRL	F/R ENRL	LUNCH %TOT	MINORITY ENRL	%TOT
4141	SIX MILE CHARTER ACADEMY	951	410	43	636	67
	PK	18	10	56	15	83
	KG	73	38	52	52	71
	01	94	43	46	62	66
	02	88	41	47	63	72
	03	122	55	45	86	70
	04	111	41	37	68	61
	05	131	49	37	86	66
	06	118	56	47	84	71
	07	99	38	38	63	64
	08	97	39	40	57	59
4100	THE ISLAND SCHOOL	60	0	0	8	13
	KG	7	0	0	1	14
	01	13	0	0	3	23
	02	9	0	0	0	0
	03	7	0	0	0	0
	04	11	0	0	2	18
	05	13	0	0	2	15
4231	UNITY CHARTER CAPE CORAL	166	5	3	96	58
	KG	17	0	0	9	53
	01	20	0	0	10	50
	02	13	2	15	9	69
	03	24	0	0	12	50
	04	12	0	0	6	50
	05	34	0	0	20	59
	06	20	1	5	11	55
	07	9	0	0	5	56
	08	17	2	12	14	82
*TOTAL/CHRTR/VIRTL		11641	4463	38	6313	54
	PK	204	74	36	120	59
	KG	854	392	46	480	56
	01	897	439	49	500	56
	02	878	360	41	497	57
	03	922	420	46	512	56
	04	917	396	43	502	55
	05	935	371	40	501	54
	06	965	419	43	531	55
	07	893	359	40	476	53
	08	928	369	40	489	53
	09	484	163	34	243	50
	10	566	163	29	277	49

b. Population Growth Study

Growth in Cape Coral 2016-2040

Executive Summary

This white paper discusses the estimated growth rates in Cape Coral from 2016-2030 and 2016-2040 and the location of the area experiencing the highest growth rates. Data used in this analysis comes from Metro Forecasting Models data obtained earlier this year.

The analysis reviewed two separate timeframes, a short-term timeframe of 14 years, and a medium timeframe of 25 years. Areas in Cape Coral are divided into Traffic Analysis Zones (TAZ's). There are 429 TAZ's in Cape Coral; of these 35 were removed due to a lack of residential land use being present in those areas. Therefore, 394 TAZ's were analyzed in this report.

Those areas selected as experiencing the highest growth rates fulfilled two criteria; growth of no less than 100 dwelling units within the timeframe, and a minimum development rate of 40% within the area. These criteria were used to separate small absolute changes with large growth rates (an area experiencing growth from 10 to 20 units represents 100% growth), and to ensure that the areas selected would be densely developed enough to warrant centralized utility provision.

2016-2030

The top 7 highest growing TAZ's were identified included the following areas:

Zone Cluster	Zone	TOTAL UNITS DEVELOPED 2016 Units, Pop at FY, Percent Developed			Est. TOTAL UNITS DEVELOPED 2030 Units, Pop at FY, Percent Developed			Estimated Change 2016-2030	
		Total Units	Total Pop	Pct Dev at FY	Total Units	Total Pop	Pct Dev at FY	Units	% Chg
C3	TAZ 2618 cc	462	1016	49.62%	931	2055	100.00%	469	101.52%
N5	TAZ 2503	202	444	23.68%	357	789	41.85%	155	76.73%
N1	TAZ 2501	273	601	25.02%	476	1050	43.63%	203	74.36%
N5	TAZ 3294	160	352	28.47%	270	596	48.04%	110	68.75%
N3	TAZ 2924	248	546	28.80%	417	921	48.43%	169	68.15%
N4	TAZ 2494	257	568	28.37%	433	957	47.79%	176	68.48%
N2	TAZ 2827		0	0.00%	337	745	100.00%	337	

Of these areas, TAZ 2618cc refers to the northern phases of the Sandoval development in SW Cape Coral. TAZ's 2503 and 3294 are located in northeastern Cape Coral, off Gator Circle. TAZ 2501 is centered on the Diplomat school complex, just west of Del Prado Boulevard North and north of Diplomat Parkway. Just

south of the Coral Oaks Golf Course, south of Van Buren Parkway is TAZ 2924, while TAZ 2494 is the area located at the southeast corner of Kismet Parkway and Santa Barbara Boulevard. TAZ 2827 is the Stonewater development.

Overall, the majority of the high growth areas is in NE Cape Coral. Utilities are present in TAZ's 2503 and 2827, while utilities are anticipated to be available to TAZ 2501 by 2021. It is likely that utilities will be available to other areas beyond 2021, but construction plans have not been developed beyond 2021.

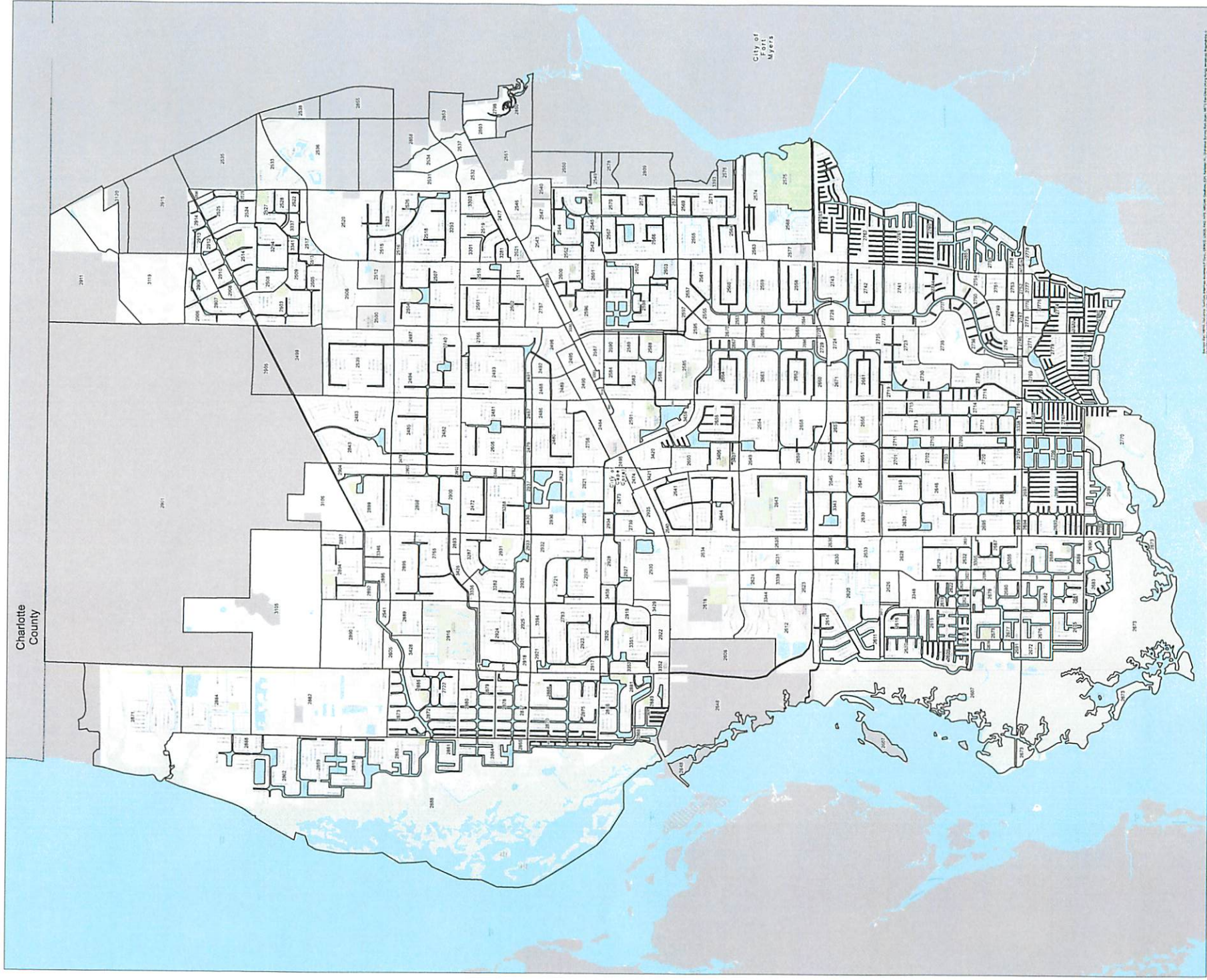
2016-2040

The top 7 highest growing TAZ's were identified included the following areas:

Zone Cluster	Zone	TOTAL UNITS DEVELOPED 2016 Units, Pop at FY, Percent Developed			TOTAL UNITS DEVELOPED Units, Pop at FY, Percent Developed			Estimated Change 2016- 2040	
		Total Units	Total Pop	Pct Dev at FY	Total Units	Total Pop	Pct Dev at FY	Units	% Chg
N3	TAZ 2859	108	238	14.92%	308	682	42.54%	200	185.19%
N3	TAZ 2863	95	209	15.01%	270	598	42.65%	175	184.21%
N5	TAZ 2536 cc	217	477	18.67%	578	1275	49.74%	361	166.36%
N3	TAZ 2873	100	220	19.19%	261	578	50.10%	161	161.00%
N3	TAZ 2815	97	213	19.13%	253	560	49.90%	156	160.82%
N3	TAZ 2886	105	231	19.92%	270	598	51.23%	165	157.14%
N3	TAZ 2872	69	152	20.18%	177	392	51.75%	108	156.52%

Almost all of these TAZ's are located in the Northwest quadrant of Cape Coral. TAZ's 2859 and 2863 are west of Old Burnt Store Road, north of Gulfstream Parkway, and represent the last area of gulf-access properties to develop. TAZ 2536 represents the Entrada development. The remaining 4 TAZ's on this list are located in NW Cape Coral, west of Burnt Store, and north of Yucatan Parkway, near gulf-access canals. By 2040, the City anticipates completing their utility construction programs, with maybe some exceptions in the far NW.

City of Cape Coral, Florida



c. Amortization Schedules for 15 Years

Option 2



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Christa McAuliffe Building Expansion, Option 2

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SOURCES AND USES OF FUNDS

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 2

Dated Date 12/18/2018
Delivery Date 12/18/2018

Sources:

Bond Proceeds:	
Par Amount	3,370,000.00
	<hr/>
	3,370,000.00

Uses:

Project Fund Deposits:	
Project Fund	3,316,917.00
Delivery Date Expenses:	
Cost of Issuance	50,000.00
Other Uses of Funds:	
Contingency	3,083.00
	<hr/>
	3,370,000.00

**BOND SUMMARY STATISTICS**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 2

Dated Date	12/18/2018
Delivery Date	12/18/2018
Last Maturity	01/01/2034
Arbitrage Yield	3.767473%
True Interest Cost (TIC)	3.767473%
Net Interest Cost (NIC)	3.750000%
All-In TIC	3.986771%
Average Coupon	3.750000%
Average Life (years)	8.372
Weighted Average Maturity (years)	8.372
Duration of Issue (years)	6.968
Par Amount	3,370,000.00
Bond Proceeds	3,370,000.00
Total Interest	1,058,032.29
Net Interest	1,058,032.29
Total Debt Service	4,428,032.29
Maximum Annual Debt Service	298,688.54
Average Annual Debt Service	294,493.19
Underwriter's Fees (per \$1000)	
Average Takedown	
Other Fee	
Total Underwriter's Discount	
Bid Price	100.000000

Bond Component	Par Value	Price	Average Coupon	Average Life	PV of 1 bp change
Bond Component	3,370,000.00	100.000	3.750%	8.372	2,327.85
	3,370,000.00			8.372	2,327.85

	TIC	All-In TIC	Arbitrage Yield
Par Value	3,370,000.00	3,370,000.00	3,370,000.00
+ Accrued Interest			
+ Premium (Discount)			
- Underwriter's Discount			
- Cost of Issuance Expense		-50,000.00	
- Other Amounts			
Target Value	3,370,000.00	3,320,000.00	3,370,000.00
Target Date	12/18/2018	12/18/2018	12/18/2018
Yield	3.767473%	3.986771%	3.767473%

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 2

Dated Date 12/18/2018

Delivery Date 12/18/2018

Period Ending	Principal	Coupon	Interest	Debt Service	Bond Balance	Total Bond Value
01/01/2019					3,370,000	3,370,000
01/01/2020	170,000	3.750%	128,688.54	298,688.54	3,200,000	3,200,000
01/01/2021	175,000	3.750%	117,750.00	292,750.00	3,025,000	3,025,000
01/01/2022	185,000	3.750%	110,906.25	295,906.25	2,840,000	2,840,000
01/01/2023	190,000	3.750%	103,968.75	293,968.75	2,650,000	2,650,000
01/01/2024	200,000	3.750%	96,703.13	296,703.13	2,450,000	2,450,000
01/01/2025	205,000	3.750%	89,062.50	294,062.50	2,245,000	2,245,000
01/01/2026	215,000	3.750%	81,234.38	296,234.38	2,030,000	2,030,000
01/01/2027	220,000	3.750%	73,031.25	293,031.25	1,810,000	1,810,000
01/01/2028	230,000	3.750%	64,781.25	294,781.25	1,580,000	1,580,000
01/01/2029	240,000	3.750%	56,015.63	296,015.63	1,340,000	1,340,000
01/01/2030	250,000	3.750%	46,734.38	296,734.38	1,090,000	1,090,000
01/01/2031	260,000	3.750%	37,359.38	297,359.38	830,000	830,000
01/01/2032	265,000	3.750%	27,468.75	292,468.75	565,000	565,000
01/01/2033	275,000	3.750%	17,531.25	292,531.25	290,000	290,000
01/01/2034	290,000	3.750%	6,796.88	296,796.88		
	3,370,000		1,058,032.29	4,428,032.29		

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 2

Dated Date 12/18/2018

Delivery Date 12/18/2018

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bond Balance	Total Bond Value
12/18/2018						3,370,000	3,370,000
04/01/2019	40,000	3.750%	36,157.29	76,157.29		3,330,000	3,330,000
07/01/2019	40,000	3.750%	31,218.75	71,218.75		3,290,000	3,290,000
10/01/2019	40,000	3.750%	30,843.75	70,843.75		3,250,000	3,250,000
01/01/2020	50,000	3.750%	30,468.75	80,468.75	298,688.54	3,200,000	3,200,000
04/01/2020	40,000	3.750%	30,000.00	70,000.00		3,160,000	3,160,000
07/01/2020	40,000	3.750%	29,625.00	69,625.00		3,120,000	3,120,000
10/01/2020	40,000	3.750%	29,250.00	69,250.00		3,080,000	3,080,000
01/01/2021	55,000	3.750%	28,875.00	83,875.00	292,750.00	3,025,000	3,025,000
04/01/2021	45,000	3.750%	28,359.38	73,359.38		2,980,000	2,980,000
07/01/2021	45,000	3.750%	27,937.50	72,937.50		2,935,000	2,935,000
10/01/2021	45,000	3.750%	27,515.63	72,515.63		2,890,000	2,890,000
01/01/2022	50,000	3.750%	27,093.75	77,093.75	295,906.25	2,840,000	2,840,000
04/01/2022	45,000	3.750%	26,625.00	71,625.00		2,795,000	2,795,000
07/01/2022	45,000	3.750%	26,203.13	71,203.13		2,750,000	2,750,000
10/01/2022	45,000	3.750%	25,781.25	70,781.25		2,705,000	2,705,000
01/01/2023	55,000	3.750%	25,359.38	80,359.38	293,968.75	2,650,000	2,650,000
04/01/2023	50,000	3.750%	24,843.75	74,843.75		2,600,000	2,600,000
07/01/2023	45,000	3.750%	24,375.00	69,375.00		2,555,000	2,555,000
10/01/2023	45,000	3.750%	23,953.13	68,953.13		2,510,000	2,510,000
01/01/2024	60,000	3.750%	23,531.25	83,531.25	296,703.13	2,450,000	2,450,000
04/01/2024	50,000	3.750%	22,968.75	72,968.75		2,400,000	2,400,000
07/01/2024	50,000	3.750%	22,500.00	72,500.00		2,350,000	2,350,000
10/01/2024	50,000	3.750%	22,031.25	72,031.25		2,300,000	2,300,000
01/01/2025	55,000	3.750%	21,562.50	76,562.50	294,062.50	2,245,000	2,245,000
04/01/2025	55,000	3.750%	21,046.88	76,046.88		2,190,000	2,190,000
07/01/2025	50,000	3.750%	20,531.25	70,531.25		2,140,000	2,140,000
10/01/2025	50,000	3.750%	20,062.50	70,062.50		2,090,000	2,090,000
01/01/2026	60,000	3.750%	19,593.75	79,593.75	296,234.38	2,030,000	2,030,000
04/01/2026	55,000	3.750%	19,031.25	74,031.25		1,975,000	1,975,000
07/01/2026	55,000	3.750%	18,515.63	73,515.63		1,920,000	1,920,000
10/01/2026	55,000	3.750%	18,000.00	73,000.00		1,865,000	1,865,000
01/01/2027	55,000	3.750%	17,484.38	72,484.38	293,031.25	1,810,000	1,810,000
04/01/2027	55,000	3.750%	16,968.75	71,968.75		1,755,000	1,755,000
07/01/2027	55,000	3.750%	16,453.13	71,453.13		1,700,000	1,700,000
10/01/2027	55,000	3.750%	15,937.50	70,937.50		1,645,000	1,645,000
01/01/2028	65,000	3.750%	15,421.88	80,421.88	294,781.25	1,580,000	1,580,000
04/01/2028	60,000	3.750%	14,812.50	74,812.50		1,520,000	1,520,000
07/01/2028	55,000	3.750%	14,250.00	69,250.00		1,465,000	1,465,000
10/01/2028	55,000	3.750%	13,734.38	68,734.38		1,410,000	1,410,000
01/01/2029	70,000	3.750%	13,218.75	83,218.75	296,015.63	1,340,000	1,340,000
04/01/2029	65,000	3.750%	12,562.50	77,562.50		1,275,000	1,275,000
07/01/2029	60,000	3.750%	11,953.13	71,953.13		1,215,000	1,215,000
10/01/2029	60,000	3.750%	11,390.63	71,390.63		1,155,000	1,155,000
01/01/2030	65,000	3.750%	10,828.13	75,828.13	296,734.38	1,090,000	1,090,000
04/01/2030	65,000	3.750%	10,218.75	75,218.75		1,025,000	1,025,000
07/01/2030	60,000	3.750%	9,609.38	69,609.38		965,000	965,000
10/01/2030	60,000	3.750%	9,046.88	69,046.88		905,000	905,000
01/01/2031	75,000	3.750%	8,484.38	83,484.38	297,359.38	830,000	830,000
04/01/2031	65,000	3.750%	7,781.25	72,781.25		765,000	765,000
07/01/2031	65,000	3.750%	7,171.88	72,171.88		700,000	700,000

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 2

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bond Balance	Total Bond Value
10/01/2031	65,000	3.750%	6,562.50	71,562.50		635,000	635,000
01/01/2032	70,000	3.750%	5,953.13	75,953.13	292,468.75	565,000	565,000
04/01/2032	65,000	3.750%	5,296.88	70,296.88		500,000	500,000
07/01/2032	65,000	3.750%	4,687.50	69,687.50		435,000	435,000
10/01/2032	65,000	3.750%	4,078.13	69,078.13		370,000	370,000
01/01/2033	80,000	3.750%	3,468.75	83,468.75	292,531.25	290,000	290,000
04/01/2033	75,000	3.750%	2,718.75	77,718.75		215,000	215,000
07/01/2033	70,000	3.750%	2,015.63	72,015.63		145,000	145,000
10/01/2033	70,000	3.750%	1,359.38	71,359.38		75,000	75,000
01/01/2034	75,000	3.750%	703.13	75,703.13	296,796.88		
	3,370,000		1,058,032.29	4,428,032.29	4,428,032.29		

Option 3



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Christa McAuliffe Building Expansion, Option 3

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SOURCES AND USES OF FUNDS

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 3

Dated Date 12/18/2018
Delivery Date 12/18/2018

Sources:

Bond Proceeds:	
Par Amount	1,925,000.00
	<hr/>
	1,925,000.00

Uses:

Project Fund Deposits:	
Project Fund	1,872,897.00
Delivery Date Expenses:	
Cost of Issuance	50,000.00
Other Uses of Funds:	
Contingency	2,103.00
	<hr/>
	1,925,000.00

**BOND SUMMARY STATISTICS**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 3

Dated Date	12/18/2018
Delivery Date	12/18/2018
Last Maturity	01/01/2034

Arbitrage Yield	3.767473%
True Interest Cost (TIC)	3.767473%
Net Interest Cost (NIC)	3.750000%
All-In TIC	4.154260%
Average Coupon	3.750000%

Average Life (years)	8.379
Weighted Average Maturity (years)	8.379
Duration of Issue (years)	6.974

Par Amount	1,925,000.00
Bond Proceeds	1,925,000.00
Total Interest	604,856.77
Net Interest	604,856.77
Total Debt Service	2,529,856.77
Maximum Annual Debt Service	171,171.88
Average Annual Debt Service	168,252.07

Underwriter's Fees (per \$1000)	
Average Takedown	
Other Fee	

Total Underwriter's Discount

Bid Price	100.000000
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Bond Component	Par Value	Price	Average Coupon	Average Life	PV of 1 bp change
Bond Component	1,925,000.00	100.000	3.750%	8.379	1,330.70
	1,925,000.00			8.379	1,330.70

	TIC	All-In TIC	Arbitrage Yield
Par Value	1,925,000.00	1,925,000.00	1,925,000.00
+ Accrued Interest			
+ Premium (Discount)			
- Underwriter's Discount			
- Cost of Issuance Expense			
- Other Amounts		-50,000.00	
Target Value	1,925,000.00	1,875,000.00	1,925,000.00
Target Date	12/18/2018	12/18/2018	12/18/2018
Yield	3.767473%	4.154260%	3.767473%

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 3

Dated Date 12/18/2018
Delivery Date 12/18/2018

Period Ending	Principal	Coupon	Interest	Debt Service	Bond Balance	Total Bond Value
01/01/2019					1,925,000	1,925,000
01/01/2020	95,000	3.750%	73,669.27	168,669.27	1,830,000	1,830,000
01/01/2021	100,000	3.750%	67,218.75	167,218.75	1,730,000	1,730,000
01/01/2022	105,000	3.750%	63,468.75	168,468.75	1,625,000	1,625,000
01/01/2023	110,000	3.750%	59,531.25	169,531.25	1,515,000	1,515,000
01/01/2024	115,000	3.750%	55,265.63	170,265.63	1,400,000	1,400,000
01/01/2025	120,000	3.750%	50,953.13	170,953.13	1,280,000	1,280,000
01/01/2026	125,000	3.750%	46,171.88	171,171.88	1,155,000	1,155,000
01/01/2027	125,000	3.750%	41,625.00	166,625.00	1,030,000	1,030,000
01/01/2028	130,000	3.750%	36,937.50	166,937.50	900,000	900,000
01/01/2029	135,000	3.750%	32,062.50	167,062.50	765,000	765,000
01/01/2030	140,000	3.750%	26,718.75	166,718.75	625,000	625,000
01/01/2031	145,000	3.750%	21,468.75	166,468.75	480,000	480,000
01/01/2032	155,000	3.750%	15,890.63	170,890.63	325,000	325,000
01/01/2033	160,000	3.750%	10,078.13	170,078.13	165,000	165,000
01/01/2034	165,000	3.750%	3,796.88	168,796.88		
	1,925,000		604,856.77	2,529,856.77		

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 3

Dated Date 12/18/2018
Delivery Date 12/18/2018

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bond Balance	Total Bond Value
12/18/2018						1,925,000	1,925,000
04/01/2019	20,000	3.750%	20,653.65	40,653.65		1,905,000	1,905,000
07/01/2019	20,000	3.750%	17,859.38	37,859.38		1,885,000	1,885,000
10/01/2019	20,000	3.750%	17,671.88	37,671.88		1,865,000	1,865,000
01/01/2020	35,000	3.750%	17,484.38	52,484.38	168,669.27	1,830,000	1,830,000
04/01/2020	25,000	3.750%	17,156.25	42,156.25		1,805,000	1,805,000
07/01/2020	25,000	3.750%	16,921.88	41,921.88		1,780,000	1,780,000
10/01/2020	25,000	3.750%	16,687.50	41,687.50		1,755,000	1,755,000
01/01/2021	25,000	3.750%	16,453.13	41,453.13	167,218.75	1,730,000	1,730,000
04/01/2021	25,000	3.750%	16,218.75	41,218.75		1,705,000	1,705,000
07/01/2021	25,000	3.750%	15,984.38	40,984.38		1,680,000	1,680,000
10/01/2021	25,000	3.750%	15,750.00	40,750.00		1,655,000	1,655,000
01/01/2022	30,000	3.750%	15,515.63	45,515.63	168,468.75	1,625,000	1,625,000
04/01/2022	25,000	3.750%	15,234.38	40,234.38		1,600,000	1,600,000
07/01/2022	25,000	3.750%	15,000.00	40,000.00		1,575,000	1,575,000
10/01/2022	25,000	3.750%	14,765.63	39,765.63		1,550,000	1,550,000
01/01/2023	35,000	3.750%	14,531.25	49,531.25	169,531.25	1,515,000	1,515,000
04/01/2023	30,000	3.750%	14,203.13	44,203.13		1,485,000	1,485,000
07/01/2023	25,000	3.750%	13,921.88	38,921.88		1,460,000	1,460,000
10/01/2023	25,000	3.750%	13,687.50	38,687.50		1,435,000	1,435,000
01/01/2024	35,000	3.750%	13,453.13	48,453.13	170,265.63	1,400,000	1,400,000
04/01/2024	30,000	3.750%	13,125.00	43,125.00		1,370,000	1,370,000
07/01/2024	25,000	3.750%	12,843.75	37,843.75		1,345,000	1,345,000
10/01/2024	25,000	3.750%	12,609.38	37,609.38		1,320,000	1,320,000
01/01/2025	40,000	3.750%	12,375.00	52,375.00	170,953.13	1,280,000	1,280,000
04/01/2025	35,000	3.750%	12,000.00	47,000.00		1,245,000	1,245,000
07/01/2025	30,000	3.750%	11,671.88	41,671.88		1,215,000	1,215,000
10/01/2025	30,000	3.750%	11,390.63	41,390.63		1,185,000	1,185,000
01/01/2026	30,000	3.750%	11,109.38	41,109.38	171,171.88	1,155,000	1,155,000
04/01/2026	30,000	3.750%	10,828.13	40,828.13		1,125,000	1,125,000
07/01/2026	30,000	3.750%	10,546.88	40,546.88		1,095,000	1,095,000
10/01/2026	30,000	3.750%	10,265.63	40,265.63		1,065,000	1,065,000
01/01/2027	35,000	3.750%	9,984.38	44,984.38	166,625.00	1,030,000	1,030,000
04/01/2027	30,000	3.750%	9,656.25	39,656.25		1,000,000	1,000,000
07/01/2027	30,000	3.750%	9,375.00	39,375.00		970,000	970,000
10/01/2027	30,000	3.750%	9,093.75	39,093.75		940,000	940,000
01/01/2028	40,000	3.750%	8,812.50	48,812.50	166,937.50	900,000	900,000
04/01/2028	30,000	3.750%	8,437.50	38,437.50		870,000	870,000
07/01/2028	30,000	3.750%	8,156.25	38,156.25		840,000	840,000
10/01/2028	30,000	3.750%	7,875.00	37,875.00		810,000	810,000
01/01/2029	45,000	3.750%	7,593.75	52,593.75	167,062.50	765,000	765,000
04/01/2029	35,000	3.750%	7,171.88	42,171.88		730,000	730,000
07/01/2029	35,000	3.750%	6,843.75	41,843.75		695,000	695,000
10/01/2029	35,000	3.750%	6,515.63	41,515.63		660,000	660,000
01/01/2030	35,000	3.750%	6,187.50	41,187.50	166,718.75	625,000	625,000
04/01/2030	35,000	3.750%	5,859.38	40,859.38		590,000	590,000
07/01/2030	35,000	3.750%	5,531.25	40,531.25		555,000	555,000
10/01/2030	35,000	3.750%	5,203.13	40,203.13		520,000	520,000
01/01/2031	40,000	3.750%	4,875.00	44,875.00	166,468.75	480,000	480,000
04/01/2031	40,000	3.750%	4,500.00	44,500.00		440,000	440,000
07/01/2031	35,000	3.750%	4,125.00	39,125.00		405,000	405,000

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 3

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bond Balance	Total Bond Value
10/01/2031	35,000	3.750%	3,796.88	38,796.88		370,000	370,000
01/01/2032	45,000	3.750%	3,468.75	48,468.75	170,890.63	325,000	325,000
04/01/2032	40,000	3.750%	3,046.88	43,046.88		285,000	285,000
07/01/2032	35,000	3.750%	2,671.88	37,671.88		250,000	250,000
10/01/2032	35,000	3.750%	2,343.75	37,343.75		215,000	215,000
01/01/2033	50,000	3.750%	2,015.63	52,015.63	170,078.13	165,000	165,000
04/01/2033	45,000	3.750%	1,546.88	46,546.88		120,000	120,000
07/01/2033	40,000	3.750%	1,125.00	41,125.00		80,000	80,000
10/01/2033	40,000	3.750%	750.00	40,750.00		40,000	40,000
01/01/2034	40,000	3.750%	375.00	40,375.00	168,796.88		
	1,925,000		604,856.77	2,529,856.77	2,529,856.77		

Option 4



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City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 4
15 Year Amortization

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SOURCES AND USES OF FUNDS

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 4
15 Year Amortization

Dated Date 12/18/2018
Delivery Date 12/18/2018

Sources:

Bond Proceeds:	
Par Amount	1,235,000.00
	<hr/>
	1,235,000.00

Uses:

Project Fund Deposits:	
Project Fund	1,183,231.80
Delivery Date Expenses:	
Cost of Issuance	50,000.00
Other Uses of Funds:	
Contingency	1,768.20
	<hr/>
	1,235,000.00

**BOND SUMMARY STATISTICS**

City of Cape Coral Charter School Authority
 Christa McAuliffe Building Expansion, Option 4
 15 Year Amortization

Dated Date	12/18/2018
Delivery Date	12/18/2018
Last Maturity	01/01/2034
Arbitrage Yield	3.767474%
True Interest Cost (TIC)	3.767474%
Net Interest Cost (NIC)	3.750001%
All-In TIC	4.378154%
Average Coupon	3.750001%
Average Life (years)	8.363
Weighted Average Maturity (years)	8.363
Duration of Issue (years)	6.961
Par Amount	1,235,000.00
Bond Proceeds	1,235,000.00
Total Interest	387,313.15
Net Interest	387,313.15
Total Debt Service	1,622,313.15
Maximum Annual Debt Service	112,141.15
Average Annual Debt Service	107,894.46
Underwriter's Fees (per \$1000)	
Average Takedown	
Other Fee	
Total Underwriter's Discount	
Bid Price	100.000000

Bond Component	Par Value	Price	Average Coupon	Average Life	PV of 1 bp change
Bond Component	1,235,000.00	100.000	3.750%	8.363	852.15
	1,235,000.00			8.363	852.15

	TIC	All-In TIC	Arbitrage Yield
Par Value	1,235,000.00	1,235,000.00	1,235,000.00
+ Accrued Interest			
+ Premium (Discount)			
- Underwriter's Discount			
- Cost of Issuance Expense			
- Other Amounts		-50,000.00	
Target Value	1,235,000.00	1,185,000.00	1,235,000.00
Target Date	12/18/2018	12/18/2018	12/18/2018
Yield	3.767474%	4.378154%	3.767474%

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
 Christa McAuliffe Building Expansion, Option 4
 15 Year Amortization

Dated Date 12/18/2018
 Delivery Date 12/18/2018

Period Ending	Principal	Coupon	Interest	Debt Service	Bond Balance	Total Bond Value
01/01/2019					1,235,000	1,235,000
01/01/2020	65,000	3.750%	47,141.15	112,141.15	1,170,000	1,170,000
01/01/2021	65,000	3.750%	43,031.26	108,031.26	1,105,000	1,105,000
01/01/2022	65,000	3.750%	40,593.76	105,593.76	1,040,000	1,040,000
01/01/2023	70,000	3.750%	38,156.26	108,156.26	970,000	970,000
01/01/2024	75,000	3.750%	35,390.63	110,390.63	895,000	895,000
01/01/2025	75,000	3.750%	32,718.76	107,718.76	820,000	820,000
01/01/2026	80,000	3.750%	29,765.63	109,765.63	740,000	740,000
01/01/2027	80,000	3.750%	26,625.00	106,625.00	660,000	660,000
01/01/2028	85,000	3.750%	23,484.39	108,484.39	575,000	575,000
01/01/2029	85,000	3.750%	20,437.52	105,437.52	490,000	490,000
01/01/2030	90,000	3.750%	17,250.00	107,250.00	400,000	400,000
01/01/2031	95,000	3.750%	13,734.39	108,734.39	305,000	305,000
01/01/2032	100,000	3.750%	10,171.88	110,171.88	205,000	205,000
01/01/2033	100,000	3.750%	6,281.26	106,281.26	105,000	105,000
01/01/2034	105,000	3.750%	2,531.26	107,531.26		
	1,235,000		387,313.15	1,622,313.15		

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 4
15 Year Amortization

Dated Date 12/18/2018
Delivery Date 12/18/2018

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bond Balance	Total Bond Value
12/18/2018						1,235,000	1,235,000
04/01/2019	15,000	3.750%	13,250.52	28,250.52		1,220,000	1,220,000
07/01/2019	15,000	3.750%	11,437.50	26,437.50		1,205,000	1,205,000
10/01/2019	15,000	3.750%	11,296.88	26,296.88		1,190,000	1,190,000
01/01/2020	20,000	3.750%	11,156.25	31,156.25	112,141.15	1,170,000	1,170,000
04/01/2020	15,000	3.750%	10,968.75	25,968.75		1,155,000	1,155,000
07/01/2020	15,000	3.750%	10,828.13	25,828.13		1,140,000	1,140,000
10/01/2020	15,000	3.750%	10,687.50	25,687.50		1,125,000	1,125,000
01/01/2021	20,000	3.750%	10,546.88	30,546.88	108,031.26	1,105,000	1,105,000
04/01/2021	15,000	3.750%	10,359.38	25,359.38		1,090,000	1,090,000
07/01/2021	15,000	3.750%	10,218.75	25,218.75		1,075,000	1,075,000
10/01/2021	15,000	3.750%	10,078.13	25,078.13		1,060,000	1,060,000
01/01/2022	20,000	3.750%	9,937.50	29,937.50	105,593.76	1,040,000	1,040,000
04/01/2022	15,000	3.750%	9,750.00	24,750.00		1,025,000	1,025,000
07/01/2022	15,000	3.750%	9,609.38	24,609.38		1,010,000	1,010,000
10/01/2022	15,000	3.750%	9,468.75	24,468.75		995,000	995,000
01/01/2023	25,000	3.750%	9,328.13	34,328.13	108,156.26	970,000	970,000
04/01/2023	20,000	3.750%	9,093.75	29,093.75		950,000	950,000
07/01/2023	15,000	3.750%	8,906.25	23,906.25		935,000	935,000
10/01/2023	15,000	3.750%	8,765.63	23,765.63		920,000	920,000
01/01/2024	25,000	3.750%	8,625.00	33,625.00	110,390.63	895,000	895,000
04/01/2024	15,000	3.750%	8,390.63	23,390.63		880,000	880,000
07/01/2024	15,000	3.750%	8,250.00	23,250.00		865,000	865,000
10/01/2024	15,000	3.750%	8,109.38	23,109.38		850,000	850,000
01/01/2025	30,000	3.750%	7,968.75	37,968.75	107,718.76	820,000	820,000
04/01/2025	20,000	3.750%	7,687.50	27,687.50		800,000	800,000
07/01/2025	15,000	3.750%	7,500.00	22,500.00		785,000	785,000
10/01/2025	15,000	3.750%	7,359.38	22,359.38		770,000	770,000
01/01/2026	30,000	3.750%	7,218.75	37,218.75	109,765.63	740,000	740,000
04/01/2026	20,000	3.750%	6,937.50	26,937.50		720,000	720,000
07/01/2026	20,000	3.750%	6,750.00	26,750.00		700,000	700,000
10/01/2026	20,000	3.750%	6,562.50	26,562.50		680,000	680,000
01/01/2027	20,000	3.750%	6,375.00	26,375.00	106,625.00	660,000	660,000
04/01/2027	25,000	3.750%	6,187.50	31,187.50		635,000	635,000
07/01/2027	20,000	3.750%	5,953.13	25,953.13		615,000	615,000
10/01/2027	20,000	3.750%	5,765.63	25,765.63		595,000	595,000
01/01/2028	20,000	3.750%	5,578.13	25,578.13	108,484.39	575,000	575,000
04/01/2028	20,000	3.750%	5,390.63	25,390.63		555,000	555,000
07/01/2028	20,000	3.750%	5,203.13	25,203.13		535,000	535,000
10/01/2028	20,000	3.750%	5,015.63	25,015.63		515,000	515,000
01/01/2029	25,000	3.750%	4,828.13	29,828.13	105,437.52	490,000	490,000
04/01/2029	20,000	3.750%	4,593.75	24,593.75		470,000	470,000
07/01/2029	20,000	3.750%	4,406.25	24,406.25		450,000	450,000
10/01/2029	20,000	3.750%	4,218.75	24,218.75		430,000	430,000
01/01/2030	30,000	3.750%	4,031.25	34,031.25	107,250.00	400,000	400,000
04/01/2030	25,000	3.750%	3,750.00	28,750.00		375,000	375,000
07/01/2030	20,000	3.750%	3,515.63	23,515.63		355,000	355,000
10/01/2030	20,000	3.750%	3,328.13	23,328.13		335,000	335,000
01/01/2031	30,000	3.750%	3,140.63	33,140.63	108,734.39	305,000	305,000
04/01/2031	25,000	3.750%	2,859.38	27,859.38		280,000	280,000

**BOND DEBT SERVICE**

City of Cape Coral Charter School Authority
Christa McAuliffe Building Expansion, Option 4
15 Year Amortization

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bond Balance	Total Bond Value
07/01/2031	20,000	3.750%	2,625.00	22,625.00		260,000	260,000
10/01/2031	20,000	3.750%	2,437.50	22,437.50		240,000	240,000
01/01/2032	35,000	3.750%	2,250.00	37,250.00	110,171.88	205,000	205,000
04/01/2032	25,000	3.750%	1,921.88	26,921.88		180,000	180,000
07/01/2032	25,000	3.750%	1,687.50	26,687.50		155,000	155,000
10/01/2032	25,000	3.750%	1,453.13	26,453.13		130,000	130,000
01/01/2033	25,000	3.750%	1,218.75	26,218.75	106,281.26	105,000	105,000
04/01/2033	25,000	3.750%	984.38	25,984.38		80,000	80,000
07/01/2033	25,000	3.750%	750.00	25,750.00		55,000	55,000
10/01/2033	25,000	3.750%	515.63	25,515.63		30,000	30,000
01/01/2034	30,000	3.750%	281.25	30,281.25	107,531.26		
	1,235,000		387,313.15	1,622,313.15	1,622,313.15		

d. GradyMinor Due Diligence Research Report

Due Diligence Research Report
for
Christa McAuliffe Elementary School

Parcel No. 17-44-23-C1-03934.0000
Section 17, Township 44S, Range 23E
City of Cape Coral, Florida

Client:
Vincent Cautero, AICP
City of Cape Coral Community Development Director
1015 Cultural Park Boulevard
Cape Coral, FL 33990

Consultant/Agent:
 **GradyMinor**
3800 Via Del Rey
Bonita Springs, FL 34134

April 2018

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Purpose

Christa McAuliffe Charter Elementary School (Christa McAuliffe) is part of the City of Cape Coral Charter School System. The elementary school currently provides classes from Voluntary Pre-Kindergarten program (VPK) to 5th Grade. There are 786 students with 50-60 faculty members excluding bus drivers. The school's Planned Development Project (PDP) was approved in 2005 and the school opened in 2006. Since the original approved PDP for the school, two amendments have been approved by the City of Cape Coral (City), one of which allowed the construction of four portable educational classroom buildings. The portable educational classroom buildings have been in use at the school for approximately 10 years and have an expected useful life of 15 years. The City desires to replace the four portable educational classroom buildings by January 2020.

The City would prefer to replace the portable educational classroom buildings with a single, 2-story, brick and mortar building with 8 total classrooms in the current location of the portable classrooms. Each classroom will need to be approximately 1,000 square feet, accommodate approximately 25 students, and include its own restroom facility.

The purpose of this report is to assist the City in determining options for the replacement of four (4) portable educational classroom buildings at Christa McAuliffe Charter Elementary School.

The information included in this report was based upon information provided by the City and additional research performed using that information. The fee information included in this report was accurate at the time the report was prepared and is subject to change.

Replacement Option 1 **(Proposed 2-story expansion with 16 additional classrooms.)**

1. Landscaping

As detailed in Resolution PDP 1-2010, a deviation was granted from the requirement that the entire property meet the current landscaping regulations to allow the project to develop with only the northwest corner of the project meeting the landscaping requirements. The proposed improvements will require a foundation landscaping plan along with a modified landscaping plan for any trees that will need to be relocated due to the proposed expansion.

2. Environmental

Previously disturbed parcels that are on a routine mowing program typically offer limited wildlife habitat with some notable exceptions such as burrowing owl and gopher tortoise habitats. A Burrowing Owl and Gopher Tortoise Affidavit will be required. In addition to the affidavit, an aerial map showing transects with the date, time and name of the person who walked the site showing any burrows found is required. The transect exhibit and a letter indicating what was or wasn't found is sufficient. Individuals without specific environmental training may be able to recognize burrow of the burrowing owl and gopher tortoise therefore, it is not required to have a biologist perform the survey.

3. Parking – Per Cape Coral Code of Ordinances, § 5.1 - Off-street parking and circulation facilities, the parking requirement for Elementary and middle schools is one space per 25 classroom seats. The addition of 16 classrooms would result in an additional 16 parking spaces. Per the permitted plan set SP 08-00900011, no additional parking spaces would be required as there is an excess of 161 parking spots that are currently existing.

4. Water Management – The existing surface water management system provides 7.33 acre-feet of dry and wet detention which currently exceeds the required 2.26 acre-feet per SFWMD Permit 36-05446-P-02, Application 060630-1. Stormwater runoff for the existing site is conveyed by a system of drainage inlets and culverts to interconnected dry detention areas located on the north and west side of the property with discharge to the existing Cape Coral roadside drainage system located at the northwest corner of the site.

The proposed expansion for Replacement Option 1 will add an additional ±9,800 SF of building and an additional ±950 SF of concrete sidewalk. This will result in the addition of ±10,750 of impervious area. Per the e-mail attached to this report from Brian Rose with the South Florida Water Management District, a minor modification to an existing environmental resource permit application would be required.

5. FEMA – The existing site is zoned AE (EL 7 Feet NAVD) per FEMA Panel 12071C0245F eff. 8/28/2008. The proposed improvements would need to adhere to Flood Design Class 3 which will require the finished floor elevation to be at 8 Feet NAVD.

6. ARCHITECTURAL – Architectural compliance is not required as the expansion to the existing building's gross floor area would be less than 50%.

7. **UTILITIES –**

Sewer- Per the permitted plan set SP 08-00900011, a 6” PVC sewer service that was constructed to service the 4 modular buildings. This existing sewer service can be modified for service to the proposed building expansion. See attached Conceptual Site Layout 1, which is attached to this report, for proposed modifications.

Water- Per the permitted plan set SP 08-00900011, a 2” water sewer service that was constructed to service to the 4 modular buildings can be modified for sewer service to the proposed building expansion. See attached Conceptual Site Layout 1 for proposed modifications.

Fire Sprinkler Service – Fire service to the building expansion will be provided with a 4” fire service per the attached Conceptual Site Layout 1. Two (2) post indicator valves (PIV) and two (2) Fire Department Connections (FDC) will need to be added. Please note the fire sprinkler services sizes were estimated and should be verified by a fire sprinkler contractor or plumbing engineer.

Replacement Option 2 **(Proposed 2-story expansion with 8 additional classrooms)**

1. Landscaping

As detailed in Resolution PDP 1-2010, a deviation was granted from the requirement that the entire property meet the current landscaping regulations to allow the project to develop with only the northwest corner of the project meeting the landscaping requirements. The proposed improvements will require a foundation landscaping plan along with a modified landscaping plan for any trees that will need to be relocated due to the proposed expansion.

2. Environmental

Previously disturbed parcels that are on a routine mowing program typically offer limited wildlife habitat with some notable exceptions such as burrowing owl and gopher tortoise habitats. A Burrowing Owl and Gopher Tortoise Affidavit will be required. In addition to the affidavit, an aerial map showing transects with the date, time and name of the person who walked the site showing any burrows found is required. The transect exhibit and a letter indicating what was or wasn't found is sufficient. Individuals without specific environmental training may be able to recognize burrow of the burrowing owl and gopher tortoise therefore, it is not required to have a biologist perform the survey.

3. Parking – Per Cape Coral Code of Ordinances, § 5.1 - Off-street parking and circulation facilities, the parking requirement for Elementary and middle schools is one space per 25 classroom seats. The addition of 8 classrooms would result in an additional 8 parking spaces. Per the permitted plan set SP 08-00900011, no additional parking spaces would be required as there is an excess of 161 parking spots that are currently existing.

4. Water Management – The existing surface water management system provides 7.33 acre-feet of dry and wet detention which currently exceeds the required 2.26 acre-feet per SFWMD Permit 36-05446-P-02, Application 060630-1. Stormwater runoff for the existing site is conveyed by a system of drainage inlets and culverts to interconnected dry detention areas located on the north and west side of the property with discharge to the existing Cape Coral roadside drainage system located at the northwest corner of the site.

The proposed expansion for Replacement Option 1 will add an additional $\pm 5,000$ SF of building and an additional ± 755 SF of concrete sidewalk. This will result in the addition of $\pm 5,755$ SF of impervious area. Per the e-mail attached to this report from Brian Rose with the South Florida Water Management District, a minor modification to an existing environmental resource permit application would be required.

5. FEMA – The existing site is zoned AE (EL 7 Feet NAVD) per FEMA Panel 12071C0245F eff. 8/28/2008. The proposed improvements would need to adhere to Flood Design Class 3 which will require the finished floor elevation to be at 8 Feet NAVD.

6. ARCHITECTURAL – Architectural compliance is not required as the expansion to the existing building's gross floor area would be less than 50%.

7. **UTILITIES –**

Sewer- Per the permitted plan set SP 08-00900011, a 6” PVC sewer service that was constructed to service the 4 modular buildings. This existing sewer service can be modified for service to the proposed building expansion. See attached Conceptual Site Layout 1, which is attached to this report, for proposed modifications.

Water- Per the permitted plan set SP 08-00900011, a 2” water sewer service that was constructed to service to the 4 modular buildings can be modified for sewer service to the proposed building expansion. See attached Conceptual Site Layout 2 for proposed modifications.

Fire Sprinkler Service – Fire service to the building expansion will be provided with a 4” fire service per the attached Conceptual Site Layout 2. Two (2) post indicator valves (PIV) and two (2) Fire Department Connections (FDC) will need to be added. Please note the fire sprinkler services sizes were estimated and should be verified by a fire sprinkler

Replacement Option 3

(Proposed 2 Permanent Modular Buildings with 8 additional classrooms)

1. Landscaping

As detailed in Resolution PDP 1-2010, a deviation was granted from the requirement that the entire property meet the current landscaping regulations to allow the project to develop with only the northwest corner of the project meeting the landscaping requirements. The proposed improvements will require a foundation landscaping plan along with a modified landscaping plan for any trees that will need to be relocated due to the proposed expansion.

2. Environmental

Previously disturbed parcels that are on a routine mowing program typically offer limited wildlife habitat with some notable exceptions such as burrowing owl and gopher tortoise habitats. A Burrowing Owl and Gopher Tortoise Affidavit will be required. In addition to the affidavit, an aerial map showing transects with the date, time and name of the person who walked the site showing any burrows found is required. The transect exhibit and a letter indicating what was or wasn't found is sufficient. Individuals without specific environmental training may be able to recognize burrow of the burrowing owl and gopher tortoise therefore, it is not required to have a biologist perform the survey.

3. Parking – Per Cape Coral Code of Ordinances, § 5.1 - Off-street parking and circulation facilities, the parking requirement for Elementary and middle schools is one space per 25 classroom seats. The addition of 8 classrooms would result in an additional 8 parking spaces. Per the permitted plan set SP 08-00900011, no additional parking spaces would be required as there is an excess of 161 parking spots that are currently existing.

4. Water Management – The existing surface water management system provides 7.33 acre-feet of dry and wet detention which currently exceeds the required 2.26 acre-feet per SFWMD Permit 36-05446-P-02, Application 060630-1. Stormwater runoff for the existing site is conveyed by a system of drainage inlets and culverts to interconnected dry detention areas located on the north and west side of the property with discharge to the existing Cape Coral roadside drainage system located at the northwest corner of the site.

The proposed expansion for Replacement Option 3 will add an additional $\pm 7,000$ SF of building and an additional $\pm 1,500$ SF of concrete sidewalk. This will result in the addition of $\pm 8,500$ of impervious area. Per the e-mail attached to this report from Brian Rose with the South Florida Water Management District, a minor modification to an existing environmental resource permit application would be required.

5. FEMA – The existing site is zoned AE (EL 7 Feet NAVD) per Fema Panel 12071C0245F eff. 8/28/2008. The proposed improvements would need to adhere to Flood Design Class 3 which will require the finished floor elevation to be at 8 Feet NAVD.

6. **ARCHITECTURAL** – Full elevations of each modular building will be required to be submitted for approval. The elevations must demonstrate compliance with the nonresidential design standards provided in the City of Cape Coral LUDR, Section 5.6.
7. **UTILITIES** –
 - Sewer**- Per the permitted plan set SP 08-00900011, a 6” PVC sewer service that was constructed to service the 4 modular buildings can be modified for sewer service to the proposed building expansion. See attached Conceptual Site Layout 3, which is attached to this report, for proposed modifications.
 - Water**- Per the permitted plan set SP 08-00900011, a 2” water sewer service that was constructed to service to the 4 modular buildings can be modified for sewer service to the proposed building expansion. See attached Conceptual Site Layout 3 for proposed modifications.
 - Fire Sprinkler Service** – The proposed modular buildings need to be designed to meet Florida Administrative Code 69A-58.0082 “Fire safety in educational facilities. Relocatable Buildings.”

Constructability

All three replacement options would require the existing 4 modular buildings to be removed prior to the start of construction. The construction site would need to be fenced off from the rest of the school due to the construction activities related to the expansion. As discussed at the coordination meeting with Charter School Staff on April 2, 2018, Christa McAuliffe will utilize the schools existing facilities and classrooms to accommodate the displaced students and staff during the construction of the expansion.

Permitting Requirements

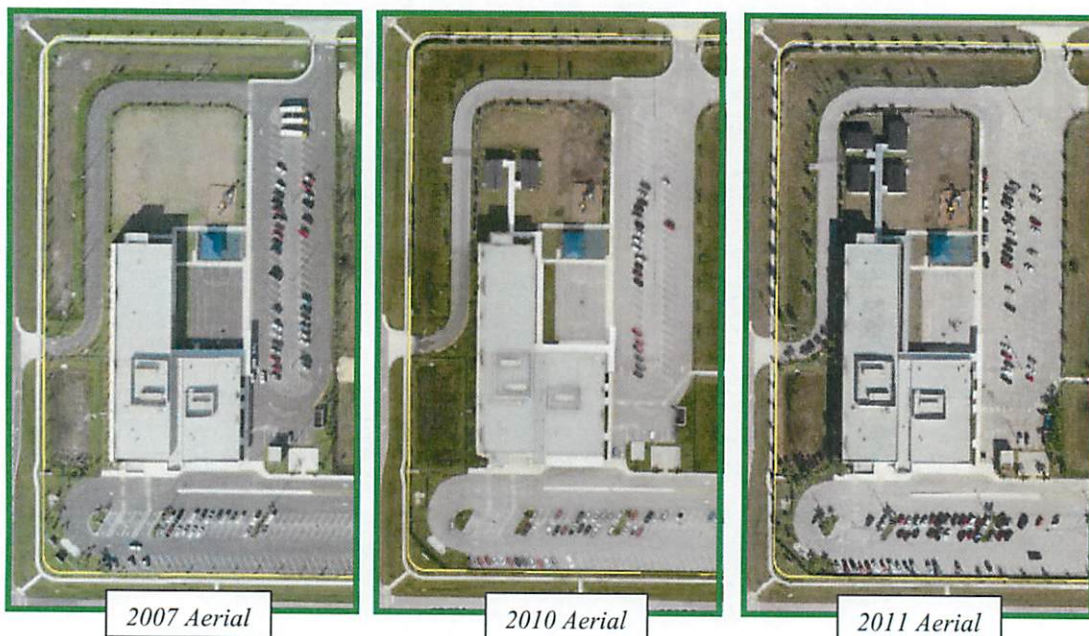
1. City of Cape Coral Site Application

The stamped approved construction site plans, signed and sealed on September 16, 2005, detailed the site improvements that were originally constructed for Christa McAuliffe in 2006. The proposed construction plans included the required infrastructure and site improvements to support two buildings totaling 41,075 square feet.

The original site plan was amended in 2008 for the expansion of Christa McAuliffe which included the necessary infrastructure and site improvements to support the construction of modular buildings on the northwest quadrant of the school.

The City of Cape Coral will require a SDP Amendment application for the proposed site improvements associated with the building expansion. The SDP Amendment application review and approval time-frame would likely be 5-7 months.

Below are aerials from the Lee County Property Appraiser website detailing the time-lapse of the improvements of the site in 2007, 2010 and 2011.



2. South Florida Water Management District (SFWMD):

The site has been previously permitted the SFWMD under the Environmental Resource Permit (ERP) No. 36-05446-P-02. Three previous applications have been submitted under this ERP which are detailed below.

- **Application #050728-6** was approved October 6, 2005 and was for the construction of a surface water management system to serve a combined charter school and recreational sports complex which was proposed to be constructed in two phases. The first phase would be the construction of the charter school building. The second phase of the project proposed the construction of a concession building and the remaining parking and surface water management system.
- **Application #060630-1** was approved August 29, 2006 and proposed to modify the original permit by enlarging the existing lake and configuration of the parking areas and athletic fields.
- **Application #080414-7** was approved June 4, 2008 and proposed to modify the original permit by improving the school site by adding four modular buildings.

The proposed improvements will require a minor modification to the existing ERP application. The review and approval time-frame for a minor modification will likely be 1-2 months after the initial submittal.

3. City of Cape Coral Zoning

The subject property is zoned RD, Residential Development. The existing school was authorized through the City's Planned Development Project (PDP) designation in 2005 and was subsequently amended in 2010 to permit the addition of the final two modular buildings to the campus. A maximum of 41,075 square feet of permanent building area is permitted in the approved PDP. The 2010 approval included a condition which required the removal of the modular buildings no later than four years from the date of the 2010 resolution of approval. In 2014, the Planning and Zoning Commission granted an extension of the removal date for the modular units to January 1, 2020.

In meetings with City Community Development staff, it was confirmed that another extension may be requested through the PDP amendment process if the Charter School needs to retain the modular units on-site beyond January 1, 2020. Approval by the City's Hearing Examiner would be required. The process to amend the PDP can be completed in approximately 3-6 months.

Alternatively, the Charter School could propose to amend the PDP in order to allow the modular units to remain, or to be replaced with the permanent classroom building improvements. This would provide the Charter School with flexibility with regard to the determination of which development option is most feasible for the Charter School.

An amendment to the PDP will be required for either option. It is our recommendation that the Charter School submit for the PDP amendment by July 2018, which would provide the Charter School

with ample time to obtain either the modular time extension, or to make decisions with regard to the construction of an additional fixed classroom building prior to the expiration of the use of the modular units of January 1, 2020.

The PDP amendment process will require a public hearing before the City's Hearing Examiner, and the review and approval time-frame would likely be 3-6 months.

Application Fee Summary

City of Cape Coral Site Application =	\$625.00
SFWMD =	\$250.00
City of Cape Coral Zoning Special Exception Application =	\$833.00 first 3 acres plus \$220.00 each additional acre over 3 up to 20 acres; \$22.00 per acre over the first 20 acres. Also all required advertising costs are to be paid by the applicant.
Building Permit Application Concept 1 =	\$12,180.00
Building Permit Application Concept 2 =	\$17,430.00
Building Permit Application Concept 3 =	\$10,095.00

Impact Fee Review

As detailed in the comment letter provided by the City of Cape Coral from their informal review of the conceptual layouts, ***"None of the proposed options would result in additional Utility Impact fees. However, when the North 2 UEP is completed, if you intend to install an irrigation meter an Impact fee will be collected based on the size of the requested meter... the minimum size meter for commercial irrigation is 1"***

Also, per coordination with Tammy Whitaker, Permit Coordinator City of Cape Coral, there will not be a road, fire, police or school impact fee as the Cape Coral Charter School system follows the same rules as the Lee County Public School System.

Per the approved PDP, when irrigation services becomes available, the Charter School will be required to connect to the City's irrigation system as prescribed by City Ordinance.

Cost Estimate

Christa McAuliffe Building Expansion

Replacement Option 1 Conceptual Cost Estimate (Proposed 2-story expansion with 16 additional classrooms)

PROFESSIONAL SERVICES

ITEM NUMBER	ITEM DESCRIPTION	FEE RANGE	ASSUMED FEE
1	PROFESSIONAL SURVEYING, ENVIRONMENTAL AND ENGINEERING	\$35,000 - \$50,000	\$ 50,000.00
2	PROFESSIONAL ZONING	\$12,000 - \$15,000	\$ 15,000.00
3	PROFESSIONAL ARCHITECTURAL	\$225,000 - \$275,000	\$ 275,000.00
Professional Services Total			\$ 340,000.00

SITE IMPROVEMENTS

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL
1	DEMOLITION	LS	1	\$ 25,000.00	\$ 25,000.00
2	4" FIRE SERVICE	LF	285	\$ 20.00	\$ 5,700.00
3	POST INDICATOR VALVE	EA	2	\$ 1,500.00	\$ 3,000.00
4	FIRE DEPARTMENT CONNECTION	EA	2	\$ 1,000.00	\$ 8,220.00
5	6" SEWER SERVICE	LF	5	\$ 15.00	\$ 75.00
6	SEWER CLEANOUT	EA	1	\$ 600.00	\$ 600.00
7	2" WATER SERVICE	LF	5	\$ 10.00	\$ 50.00
8	JUNCTION BOX	EA	1	\$ 2,500.00	\$ 2,500.00
9	CATCH BASIN	EA	3	\$ 2,500.00	\$ 7,500.00
10	12" HDPE	LF	170	\$ 25.00	\$ 4,250.00
11	ROADWAY OPEN CUT	SY	400	\$ 20.00	\$ 8,000.00
12	PROPOSED SIDEWALK	SF	950	\$ 7.50	\$ 7,125.00
13	PROPOSED COVERED WALKWAY	LS	1	\$ 93,000.00	\$ 93,000.00
Site Improvement Total					\$ 165,020.00

BUILDING CONSTRUCTION

14	PROPOSED EXPANSION (INCLUDES EVERYTHING MINUS FURNITURE)	SF	20,270	\$ 225.00	\$ 4,560,750.00
Building Total					\$ 4,560,750.00
Replacement Option 1 Total					\$ 5,065,770.00
20% Contingency					\$ 1,013,154.00
Application Fees					\$ 22,014.00
Replacement Option 1 Grand Total					\$ 6,100,938.00

Christa McAuliffe Building Expansion

Replacement Option 2 Conceptual Cost Estimate (Proposed 2-story expansion with 8 additional classrooms)

PROFESSIONAL SERVICES					
ITEM NUMBER	ITEM DESCRIPTION	FEE RANGE		ASSUMED FEE	
1	PROFESSIONAL SURVEYING,ENVIRONMENTAL AND ENGINEERING	\$35,000 - \$50,000		\$ 50,000.00	
2	PROFESSIONAL ZONING	\$12,000 - \$15,000		\$ 15,000.00	
3	PROFESSIONAL ARCHITECTURAL	\$120,000 - \$144,000		\$ 144,000.00	
				Professional Services Total	\$ 209,000.00
SITE IMPROVEMENTS					
ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL
1	DEMOLITION	LS	1	\$ 25,000.00	\$ 25,000.00
2	4" FIRE SERVICE	LF	260	\$ 20.00	\$ 5,200.00
3	POST INDICATOR VALVE	EA	2	\$ 1,500.00	\$ 3,000.00
4	FIRE DEPARTMENT CONNECTION	EA	2	\$ 1,000.00	\$ 8,220.00
5	6" SEWER SERVICE	LF	44	\$ 15.00	\$ 660.00
6	SEWER CLEANOUT	EA	2	\$ 600.00	\$ 1,200.00
7	2" WATER SERVICE	LF	31	\$ 10.00	\$ 310.00
8	JUNCTION BOX	EA	1	\$ 2,500.00	\$ 2,500.00
9	CATCH BASIN	EA	3	\$ 2,500.00	\$ 7,500.00
10	12" HDPE	LF	170	\$ 25.00	\$ 4,250.00
11	ROADWAY OPEN CUT	SY	375	\$ 20.00	\$ 7,500.00
12	PROPOSED SIDEWALK	SF	755	\$ 7.50	\$ 5,662.50
13	PROPOSED COVERED WALKWAY	LS	1	\$ 75,000.00	\$ 75,000.00
				Site Improvement Total	\$ 146,002.50
BUILDING CONSTRUCTION					
14	PROPOSED EXPANSION (INCLUDES EVERYTHING MINUS FURNITURE)	SF	10,645	\$ 225.00	\$ 2,395,125.00
				Building Total	\$ 2,395,125.00
				Replacement Option 2 Total	\$ 2,750,127.50
				20% Contingency	\$ 550,025.50
				Application Fees	\$ 16,764.00
				Replacement Option 2 Grand Total	\$ 3,316,917.00

Christa McAuliffe Building Expansion
Replacement Option 3 Conceptual Cost Estimate (Proposed Two (2) Permanent Modular Buildings)

PROFESSIONAL SERVICES

ITEM NUMBER	ITEM DESCRIPTION	FEE RANGE	ASSUMED FEE
1	PROFESSIONAL SURVEYING, ENVIRONMENTAL AND ENGINEERING	\$35,000 - \$50,000	\$ 50,000.00
2	PROFESSIONAL ZONING	\$12,000 - \$15,000	\$ 15,000.00
3	PROFESSIONAL ARCHITECTURAL	No Architect Req.	\$ -
Professional Services Total			\$ 65,000.00

SITE IMPROVEMENTS

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL
1	DEMOLITION	LS	1	\$ 25,000.00	\$ 25,000.00
5	6" SEWER SERVICE	LF	45	\$ 15.00	\$ 675.00
6	SEWER CLEANOUT	EA	30	\$ 600.00	\$ 18,000.00
7	2" WATER SERVICE	LF	40	\$ 10.00	\$ 400.00
8	JUNCTION BOX	EA	1	\$ 2,500.00	\$ 2,500.00
9	CATCH BASIN	EA	3	\$ 2,500.00	\$ 7,500.00
10	12" HDPE	LF	170	\$ 25.00	\$ 4,250.00
11	ROADWAY OPEN CUT	SY	35	\$ 20.00	\$ 700.00
12	PROPOSED SIDEWALK	SF	1,500	\$ 7.50	\$ 11,250.00
13	PROPOSED COVERED WALKWAY	LS	1	\$ 123,000.00	\$ 123,000.00
Site Improvement Total					\$ 193,275.00

BUILDING CONSTRUCTION

13	PROPOSED TWO (2) MODULAR BUILDINGS (INCLUDES EVERYTHING MINUS FURNITURE)	SF	7,168	\$ 180.00	\$ 1,290,240.00
Building Total					\$ 1,290,240.00
Replacement Option 3 Total					\$ 1,548,515.00
20% Contingency					\$ 309,703.00
Application Fees					\$ 14,679.00
Replacement Option 3 Grand Total					\$ 1,872,897.00

Existing Aerial



SFWMD Coordination E-mail

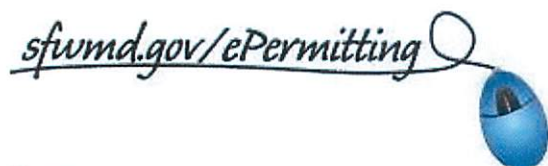
Daniel Flynn

From: Rose, Brian <brose@sfwmd.gov>
Sent: Friday, February 23, 2018 10:27 AM
To: Daniel Flynn
Subject: RE: Pre-Application Meeting Request 36-05446-P-02

Typically, if there is sufficient volume in the stormwater management facility for water quality and attenuation, an addition would be a minor modification. If additional stormwater management facilities are required, typically that would be major modification. Please provide documentation demonstrating there is sufficient water quality in the existing facilities.

Thanks.

Brian Rose, P.E.
Section Leader-Engineering
South Florida Water Management District
Fort Myers Service Center
2301 McGregor Boulevard
Fort Myers, FL 33901
(239) 338-2929 ext. 7759
brose@sfwmd.gov



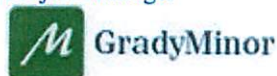
NOTE:

While the District supports that it is commonplace and convenient to collaborate via email during the pre-application/application process, Permit Applications and Responses to a Request for Additional Information (RAI) submitted via email are not an official submittal (Section 4.4 of Environmental Resource Permit Applicant's Handbook Volume I). For timely and efficient processing of permit applications and RAI responses, please submit online using ePermitting (link above).

From: Daniel Flynn [mailto:dflynn@gradyminor.com]
Sent: Friday, February 23, 2018 10:23 AM
To: Rose, Brian <brose@sfwmd.gov>
Subject: RE: Pre-Application Meeting Request 36-05446-P-02

I'm just looking to confirm the permit application type. I'm working with an architect and we are going to provide two options. The first option is a building addition and the second option is permanent portables. I should have the square footage of the buildings within the next couple of weeks but I'm assuming it would just be a minor modification. I reviewed the existing permit and it looks like they have quite a bit extra volume provided for their treatment.

Thanks,
R. Daniel Flynn, P.E.
Project Manager



3800 Via Del Rey
Bonita Springs, FL 34134

Phone - 239.947.1144
Fax - 239.947.0375
Web - <http://www.gradyminor.com>

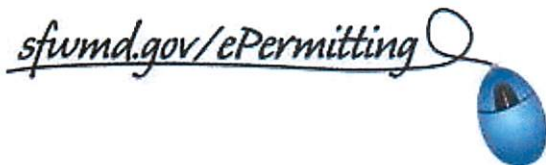
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Please consider the environment before printing this email

From: Rose, Brian [<mailto:brose@sfwmd.gov>]
Sent: Friday, February 23, 2018 10:16 AM
To: Daniel Flynn <dflynn@gradyminor.com>
Subject: RE: Pre-Application Meeting Request 36-05446-P-02

Daniel,
Do you have any specific questions about this project?
Thanks.

Brian Rose, P.E.
Section Leader-Engineering
South Florida Water Management District
Fort Myers Service Center
2301 McGregor Boulevard
Fort Myers, FL 33901
(239) 338-2929 ext. 7759
brose@sfwmd.gov



NOTE:

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From: Daniel Flynn [<mailto:dflynn@gradyminor.com>]
Sent: Friday, February 23, 2018 10:13 AM
To: Rose, Brian <brose@sfwmd.gov>
Subject: Pre-Application Meeting Request 36-05446-P-02

Brian,

We are working with the Cape Coral Charter School Authority on providing a due diligence report for a potential addition to their existing building at Christa McAuliffe Elementary School. The address for the school is 2817 SW 3rd Lane, Cape Coral FL 33991. The existing permit on the site is 36-05446. Would you and your team be available sometime in the

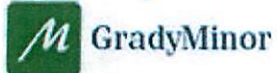
next two or three weeks for a short pre-application meeting? This project should be very straight forward so it shouldn't be too long of a meeting.

I appreciate your time.

Thank you,

R. Daniel Flynn, P.E.

Project Manager



3800 Via Del Rey

Bonita Springs, FL 34134

Phone - 239.947.1144

Fax - 239.947.0375

Web - <http://www.gradyminor.com>

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Informal Comments from City of Cape Coral



CITY OF CAPE CORAL
P.O. BOX 150027
CAPE CORAL, FL 33915-0027
PLANNING DIVISION (239) 574-0552
DEVELOPMENT SERVICES (239) 573-3167
www.capecoral.net

Project Review

Comment Sheet

PROJECT NO: ADV18-0023
Applicant: Q. Grady Minor & Associates
Engineer: Q. Grady Minor & Associates
Project Name: Christa McAuliffe Charter School
Address: 2817 SW 3RD LN

PARCEL/TAX ID NO: 10575897
Date: 4/13/2018
Pages: 9

Any advisory comments provided by staff regarding an approval process or permit are conceptual only and subject to change based on detailed information provided with an application to the City of Cape Coral. Formal review may result in additional changes not noted prior to a formal application. The final design or project must comply with the Land Use and Development Regulations (LUDRs), Engineering Design Standards, City Code of Ordinances, Comprehensive Plan and other applicable laws and regulations.

1 PLAN TRACKING Date: 04/13/2018 Reviewed By: Heather Plummer **Complete**

CUSTOMER BILLING SERVICES Date: 04/06/2018 Reviewed By: Craig Trimmer **Complete**

If you have any questions, please call CBS @ 239-242-3851.

WTR = BCENW-BPAID

SWR = BCENS-BPAID

IRR = N2

SITE SPECIFIC COMMENTS:

The Site is currently served by a 2" Potable Meter and an 8" Protectus Meter.

None of the proposed options would result in additional Utility Impact fees. However, when the North 2 UEP is completed, if you intend to install an irrigation meter an Impact fee will be collected based on the size of the requested meter.

If you plan to use an irrigation system, please note: the minimum size meter for commercial irrigation is 1". Less than that will be an unmetered service, with billing based on the total parcel area.

GENERAL COMMENTS:

Please show pervious / impervious surface calculation on the site plan.

Please delineate on site plan the size and location of the existing utility service and any changes or additions required.

You can obtain a copy of the latest GIS information for the existing utilities by contacting the city's utility collection and distribution division.

In order to comply with FDEP requirements, and to maintain a safe drinking water supply for the residents of the city of cape coral, it is required that all commercial and multifamily properties have an FDEP approved backflow prevention assembly installed immediately downstream of the water meter on the customers' line at all dedicated service connections.

After construction, if the project complies with conditions set forth in the city code of ordinances, chapter 22 "Stormwater management utility", you may be eligible for an adjustment to the annual Stormwater fees. An application can be obtained from customer billing services.

ENVIRONMENTAL

Date: 04/06/2018

Reviewed By: Justin Heller

Complete

Please provide a burrowing owl/gopher tortoise affidavit and an environmental survey.

Guidelines for Development Projects located on previously disturbed, routinely mowed properties:

Previously disturbed parcels that are on a routine mowing program typically offer limited wildlife habitat with some notable exceptions such as burrowing owl and gopher tortoise habitat. Individuals without specific environmental training may be able to recognize burrows of the burrowing owl and gopher tortoise. Therefore, the City will not require a professional wildlife survey for such properties, although it is encouraged. The developer or his/her agent is required to do a systematic walkover of the site and prepare a written report using the guidelines below. The individuals performing the species surveys should be equipped with measuring equipment and must be capable of plotting field locations onto a scaled drawing or aerial photograph.

If any protected species of plant or animal life are found on the site, a professionally prepared management plan may be required. City staff will conduct site checks to verify the findings of each survey. Any disturbance of habitat, such as the unpermitted destruction of any animal burrow, will be reported to the state and/or federal authorities and may delay the issuance of the development order until the matter is resolved.

Survey Guidelines:

Transects. The developer or agent shall conduct a thorough walkover of the project site. No surveys shall be made while driving a vehicle. Transects must be walked from property line to property line in a north/south direction with a spacing of no greater than fifty feet between transects until the entire property is covered. If vegetation or other features obscure the view, closer transects are necessary. As each transect proceeds, the surveyor must note the locations of any listed species and plot them on a scaled diagram or aerial of the site. All listed species observed should be documented whether it nests on the site or not.

Survey Report. The developer must submit a written survey report indicating the results of the walkover. The report must include the following information:

1. Legal description of the property (Unit, Block, Lots) with scaled diagram or aerial of the site. The diagram or aerial shall indicate the locations of the transects and the locations of species observed.
2. Name(s) of the surveyor(s) and business affiliation.
3. Procedures used to survey the site and the times and dates of the site survey.
4. General description of the property describing landscape type(s).
5. Narrative indicating species found on the site, with special notice given to listed species.
6. Description of any unique features found on the site.
7. General description of possible impacts of development on flora and fauna.
8. Proposed methods for mitigating the impacts of the development on flora and fauna.

FIRE

Date: 04/06/2018

Reviewed By: LORA K GREENWELL

Complete

Phone #:239-242-3621

E-mail: lgreenwe@capecoral.net

Recommendations and/or Comments: All options:

City Ordinance 52-15, chapter 18 Section 18.3

Chapter 18, Fire Department Access and Water Supply, Section 18.3, Water Supplies and Fire Hydrants, Subsection 18.3.1 is hereby amended by creating Sub-subsections 18.3.1.2, 18.3.1.3, and 18.3.1.4, as follows:

1. 18.3.1.2 Adopt 2012 NFPA 1 or subsequent edition Annex E in total.

18.3.1.3 New structures not capable of delivering the required fire flow shall provide automatic sprinkler systems in accordance with NFPA 13, 13R or 13D, 2010 or subsequent editions as applicable.

Owners and developers shall make provisions to install water lines and fire hydrants to meet spacing and fire flow requirements. Where fire mains exist, but do not meet the fire flow requirements, alternative arrangements may be made, prior to construction, with the authority having jurisdiction. Due to the concern for

public safety, failure to meet the fire flow requirements or come to alternative agreement shall be grounds for refusal for the City to issue building permits.

2. Provide the required fire flow for the proposed building.

3. Flow test required to be submitted with site plans. For flow test requests, call the Cape Coral Fire Department, Division of Life Safety to order and request a test, 239-242-3264.

*****Provide a flow test of the nearest, within 250 feet, potable water hydrant. Show hydrant location and distance on plans. Flow test must be dated within 6 months of submittal.

*****Provide the fire flow calculations of the building per NFPA 1-18, based on the building type.

City Ordinance 52-15, Chapter 18.3, 18.3.4.1.2 The Fire Department Connection (F.D.C.) shall be located not less than forty (40) feet from buildings and in an area accessible to fire apparatus preferably on the street/ addressable side of the building.

NFPA 1-18.2.3.4.1.1, Fire department access roads shall have an unobstructed width of not less than 20 ft.

NFPA 1- 18.4.5.3 Buildings Other Than One- and Two-Family Dwellings.

18.4.5.3.1 The minimum fire flow and flow duration for buildings other than one- and two-family dwellings shall be as specified in Table 18.4.5.2.1.

NFPA 1-18.5.1 Fire Hydrant Locations and Distribution.

Fire hydrants shall be provided in accordance with Section 18.5 for all new buildings, or buildings relocated into the jurisdiction unless otherwise permitted by 18.5.1.1 or 18.5.1.2

NFPA 1- 18.5.1.6 Fire hydrants shall be located not more than 12 ft. (3.7 m) from the fire department access road.

NFPA 1- 18.5.3 Buildings Other than Detached One- and Two-Family Dwellings.

Fire hydrants shall be provided for buildings other than detached one- and two-family dwellings in accordance with both of the following:

1. The maximum distance to a fire hydrant from the closest point on the building shall not exceed 400 ft (76 m).
2. The maximum distance between fire hydrants shall not exceed 500 ft. (152 m).

NFPA 1- 18.5.4 Minimum Number of Fire Hydrants for Fire Flow.

18.5.4.1 The minimum number of fire hydrants needed to deliver the required fire flow for new buildings in accordance with Section 18.4 shall be determined in accordance with Section 18.5.4.

NFPA 1- 18.5.4.2 The aggregate fire flow capacity of all fire hydrants within 1000 ft. (305 m) of the building, measured in accordance with 18.5.1.4 and 18.5.1.5, shall be not less than the required fire flow determined in accordance with Section 18.4.

NFPA 1- 18.5.4.3 *The maximum fire flow capacity for which a fire hydrant shall be credited shall be as specified by Table 18.5.4.3. Capacities exceeding the values specified in Table 18.5.4.3 shall be permitted when local fire department operations have the ability to accommodate such values as determined by the fire department.

Table 18.5.4.3 Maximum Fire Hydrant Fire Flow Capacity
Distance to Buildinga Maximum Capacityb

(ft)	(m)	(gpm)	(L/min)
= 250	= 76	1500	5678
> 250 and = 500	>76 and = 152	1000	3785
> 500 and = 1000	> 152 and = 305	750	2839

NFPA 14-6.4.5.1, Fire department connections shall be visible and recognizable from the street or nearest point of fire department apparatus accessibility or on the street side of buildings.

NFPA 24- 5.2.1 Private Fire Service Mains. Pipe smaller than 6 in. (152.4 mm) in diameter shall not be installed as a private service main supplying hydrants.

NFPA 24- 7.2.3 *Hydrants shall be located not less than 40 ft (12 m) from the buildings to be protected.

For OPTION 1:

Fire Sprinkler service- minimum 4" fire line to new building sprinkler system.

For OPTION 2:

Fire Sprinkler service- minimum 4" fire line to new building sprinkler system.

For OPTION 3:

Follow FAC 69A-58.82, Relocatable Buildings.

HORTICULTURE

Date: 04/10/2018

Reviewed By: Ron Mey

Complete

Phone # 573-3190

E-Mail: rmey@capecoral.net

1. The proposed expansion will require the entire site to be brought into compliance with the City's landscaping regulations as specified in LUDR, Section 5.2. Refer to (LUDR, Section 5.2.3.A.3) Applicability.

PLANNING

Date: 04/10/2018

Reviewed By: Mike Struve

Complete

Phone 239.242.3255,

mstruve@capecoral.net

Background: Christa McAuliffe Charter School is located at 2817 SW 3rd Lane. The site has a Public Facilities Future Land Use Classification and Residential Development (RD) Zoning. This project was approved by PDP in 2005 (Resolution PDP 5-2005) and was amended in 2010 (Resolution PDP 1-2010) and 2014 (Resolution PDP 3-2014).

Three options are under consideration for expanding the school facility:

- Option #1 would add 10,162 sq. ft. to both the existing first and second floor of the building, increasing the building area by 20,162 sq. ft.
- Option #2 would add 5,302 sq. ft. to both the existing first and second floor of the building, increasing the building area by 10,604 sq. ft.
- Option #3 would add four new modular buildings to the site with a collective area of 3,584 sq. ft.

1. Please provide a legal description of the site along with a current certified survey (LUDR, Section 4.4.10.A). The vertical datum required for all submittals to the City of Cape Coral will remain the National Geodetic Vertical Datum (NGVD) of 1929.

2. Any of the above three options will require PDP and site plan approval.

3. Please provide a landscaping plan for staff review. Refer to LUDR, Section 4.4.10C.3.

4. If Option #3 is selected, please provide full elevations of each new modular building that demonstrates compliance with the nonresidential design standards provided in LUDR, Section 5.6. Architectural compliance is not required if either Option #1 or #2 is selected as the expansion to the existing building's gross floor area would be less than 50%.

5. The City's site plan review procedures, including site plan requirements, are outlined within LUDR, Section 4.4.

SITE DEVELOPMENT

Date: 04/13/2018

Reviewed By: David Hyyti

Complete

dhyyti@capecoral.net Phone #: (239) 573-3184

1. Please provide the design calculations for the stormwater system and SFWMD permit modification as may be required.

2. No exterior drainage, roadway or utility impacts are anticipated.

3. The approved PDP provides a deviation requiring only the NW corner of the property to comply with the current landscape code. Please provide a landscape plan for the NW corner of the property reflecting the proposed changes to the approved landscape plan.

4. Upon completion of the approved site improvements, and prior to receiving a certificate of completion for the site improvements and/or Certificate of Occupancy for any buildings, the engineer of record must submit a signed and sealed letter of substantial compliance along with signed and sealed record drawings of the final site improvements. The record drawings will be the complete set of the approved SDP drawings stamped record drawings, showing cross through and mark up of final as built information as obtained from the contractor, engineer's inspections, and/or survey. Record surveys are not acceptable. Similarly, a separate set of signed and sealed record drawings are required for the landscape improvements. Record drawings must be provided in PDF format. If the PDF record drawings are not signed and sealed then two full size paper copies, signed and sealed, shall be provided in addition to the PDF files.

5. Commercial signage, underground fire lines, fences and dumpster enclosures require separate permits in addition to the approval of the Site Development Plans and the site development permit.

You may contact the reviewer or Heather Plummer, in the Development Services Group, at hplummer@capecoral.net or at 239-573-3167 for additional information regarding the Site Development Plan review process. You can also obtain information and the SDP application on our web site at: http://www.capecoral.net/departments/community_development/development_plans.php

BUILDING	Date: 04/03/2018	Complete
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The following fees may be placed on new construction and addition building permits:

- ALS IMPACT
- POLICE IMPACT
- ROAD IMPACT
- FIRE IMPACT
- PARK IMPACT
- SCHOOL IMPACT
- SCHOOL ADMIN
- UTILITY FEES
- FIRE DEPT FEE (for plan review and inspections)
- BUILDING PERMIT FEE

*Fees may be estimated by using our online calculator:

Commercial -

http://www.capecoral.net/departments/community_development/permitting/commercial_building_permits_calculator.php#.WgHzQ2eWyiM

Residential -

http://www.capecoral.net/departments/community_development/permitting/residential_building_permits_calculator.php#.WgH1VWeWyiM

Application and submittal requirement may be found online -

http://www.capecoral.net/departments/community_development/permitting/forms_and_applications.php#.WgNrLmeWyiM

Building permits are submitted in person to the building dept. A 15% deposit of the building permit fee is required at the time of submittal. Remaining fees are calculated after all reviews have been approved. The contractor will be notified when the permit is approved and ready for pick up. All fees due and any additional documents required will be provided with the approval notification.

*THIS ESTIMATE IS BASED ON INFORMATION PROVIDED BY THE APPLICANT, UTILIZING THE FEE STRUCTURE IN EFFECT AT THE TIME THE REQUEST FOR AN ESTIMATE IS RECEIVED. THIS ESTIMATE MAY NOT REPRESENT THE ACTUAL TOTAL FEES DUE TO MISINFORMATION PROVIDED BY THE APPLICANT, A CHANGE IN THE FEE STRUCTURE, OR OTHER CAUSE. **CIAC FEES ARE NOT INCLUDED IN THIS ESTIMATE AND MAY APPLY TO YOUR SITE. PLEASE CALL CUSTOMER SERVICE BILLING 239-574-7722 FOR AMOUNT. *

NOTES TO BE PROVIDED ON ALL SITE DEVELOPMENT PLANS

Below is a list of typically requested General Notes. **These are provided for the Engineers benefit.** It should be noted that some of these may not be applicable to all sites and/or some additional notes may be required/or removed.

1. Contractor is required to follow all state and local building and development codes and standards. All work within the City Right-Of-Way shall be in accordance with City Engineering Design Standards and Florida Department of Transportation's Standards for Road and Bridge Construction. Federal ADA requirements will supersede all conflicts with state and local standards. All deviations from the City Engineering Design Standards shall be specifically addressed in writing for review and approval by the City Engineer prior to right-of-way final. All other errors, omissions or conflicts with the site plan or specifications shall be resolved in favor of The City Engineering Design Standards.
2. All work or materials which do not conform to the specification of the City of Cape Coral Engineering Design Standards or Florida Department of Transportation Standards Specifications for Road and Bridge Construction or any work performed without an inspection by a representative of the City Of Cape Coral Public Works Department is subject to removal and replacement at the contractor's expense.
3. All elevations are based on NGVD (1929).
4. The contractor is required to get all the necessary right-of-way permits and provide all necessary work zone controls and safety requirements for the project. Traffic controls are required for all work within the right-of-way. The City of Cape Coral has adopted the Manual of Uniform Traffic Control Devices for Streets and Highways and requires a Maintenance of Traffic Permit to ensure compliance with these standards. A traffic maintenance plan is required from the contractor and must be approved by the City Transportation Department prior to starting work in the right-of-way. For more information the contractor should reference City Engineering Design Standards Sheet G-4 and the current version of section 600 and section 700 of F.D.O.T. Standard Specifications. Contractor's failure to comply with these requirements could result in the city imposing a stop work order on the project.
5. Contractor to note that design elevations for the right-of-way shown, on the plans may differ from the city's master design plan. The city's survey department will set the grades for curb as per the city's curb and road widening master plan. The contractor should check with the city's Engineering Department to obtain right-of-way design information and latest changes if any.
6. The contractor shall ensure that with all road improvements, the existing asphalt road edge is cut back a min. of 1 ft. for the entire length of the asphalt widening to be constructed and any of the existing thermoplastic striping remaining along the cut edge will be ground off. The sub-base and cut edge are to be tack coated prior to the installation of the new asphalt, and that all new striping shall be thermoplastic and placed along the curb per M.U.T.C.D. specifications.
7. Concrete forms are required on both sides of all replacement curbs as outlined on sheet F-3 of the City Engineering Design Standards. Inspections shall be requested and approved prior to placement of concrete and/or asphalt in the City of Cape Coral's right-of-way.
8. All broken and vertically misaligned sections of existing sidewalks and curb in the City or County right-of-way directly adjacent to this site that do not meet A.D.A. minimum requirements shall be replaced at the owner's expense.
9. Sidewalks passing through driveway aprons shall comply with latest version of the Federal A.D.A. See also F.D.O.T. index 515 pages 1-6 for more details.
10. Contractor shall install expansion joints at intervals of 100 ft. on center for all curb gutter and sidewalk installed in the right-of-way. Contraction joints are to be saw cut at 5' on center for sidewalks and 10' on center for curb. Expansion material is not to be placed between the back of the curb and the sidewalk or driveway apron. For additional details refer to F.D.O.T. indexes 300 and 310.

11. City requirements for materials test reports should be determined at the beginning of the project and should be available to the inspector at the time of required inspection. Contractor is responsible for all required testing of right-of-way improvements at the appropriate time during development to ensure compliance with minimum city design standards. Certified test reports are required for compaction of sub-grade and base course. In-place thickness of road base and asphalt for new road and/or alley construction is also required prior to an Engineering

Right-Of-Way Final. Delay in receiving an approved right-of-way final could result in delays in receiving the Certificate of Occupancy for the completed project. Testing of improvements in the right-of-way is required to ensure compliance with the minimums of the design cross sections.

12. Contractor is responsible for restoration of all city right-of-way disturbed or damaged during construction up and to the point that final approval is received from the city. Right-of-way, swale and other differences in grade including private property should be graded at a 4:1 slope. These areas shall be covered with hydro seed or sod. Sod only is to be placed along the edge of new or existing pavement and 10-feet in all directions around storm water inlets. This includes properties located across alleys improved as part of the project.

13. The contractor will be required to contact the Site Development and Review Division to coordinate the installation and inspections for rerouting of the city storm water system. After all of the new pipes and structure have been installed and approved by the city, the old pipes and any structures on the property must be removed. The contractor will be required to provide a surveyor to do the layout for installation of the new system.

14. The contractor shall provide erosion controls for the storm water system of the city right-of-way at the start of construction. Controls must be maintained until the right-of-way construction is complete and responsibility for the work is accepted by the city of Cape Coral. Should the contractor's storm water protective system not be installed or fail the contractor shall upon completion clear and clean the entire storm sewer system to the canal. Erosion controls methods are detailed on sheets M-1 to M-27 of the city of Cape Coral Engineering Design Standards. (See also Florida Storm water, Erosion and Sedimentation Control Inspection Manual for additional info.).

15. All city signs in or adjacent to the city right of way that must be relocated shall be coordinated with the city traffic department. Stop signs must be maintained during construction by relocating the existing sign if possible, use a temporary sign or a combination of both. Please get in touch with the traffic department for relocation of signs, approval of new signs, and required striping of adjacent right-of-way. All right-of-way striping and signs must comply with the latest version of the M.U.T.C.D. All private traffic signs and stop bars are to be located on private property behind the city right-of-way line. Temporary street signs may be placed within the right-of-way to identify street locations. Coordination with the City Traffic Department is required.

16. The site contractor will be responsible to ensure that all above ground public utility structures in the right-of-way will be relocated to the utility easement behind the right-of-way line. This would include all types such as power poles, telephone connection boxes, switch gear boxes and any structures used to supply or support a public service not supplied by the City of Cape Coral Utility. For all other utilities maintained by the city contact the City Utility Department.

17. All frames, covers, valve boxes and manholes shall be adjusted to finished grade upon completion of paving or related construction.

18. Construction of the type-4 curb inlet shall be per city details and specifications. See sheet C-3 and sheet C-9 of the Cape Coral Engineering Design Standards and F.D.O.T. Index 210 for additional information. The last structure in the system prior to a canal is required to have a two-foot bottom sump below the lowest pipe.

19. Round storm drains adjacent to inlets are sump wells that connect to underground retention systems that parallel the right-of-way and shall be attached to inlets as per details shown.

20. All work/materials that do not conform to local or state standards, or that are not properly inspected by a city representative are subject to removal, or replacement at the contractor's expense. All concrete within city R.O.W. must be 3000 P.S.I. minimum.

21. The City of Cape Coral will do construction lay out for location and elevation of storm water structures, curb and alley improvements as per the city's master plans.

22. All property survey monuments in the City of Cape Coral's right-of-way are to be in place and marked prior to requesting services for surveying lay out and/or inspections.

All property corners and survey monuments shall be preserved. If a property corner or monument is disturbed or destroyed during construction, the property corners or monuments shall be restored with like and kind of materials prior to engineering final.

23. All mail boxes in or adjacent to the right-of-way that must be relocated shall be coordinated with the City Traffic Department and the local post office for final placement. Mailboxes must be made available to the owner and postal delivery service during construction. Temporary relocation shall be coordinated with the local post office.

24. The City Engineering Department would advise that the Contractor notify Lee County D.O.T. Traffic Signal Maintenance Divisions prior to starting construction and have them check all traffic control leads and wiring loops to ensure that they are operational. Lee County Traffic Control Maintenance Dept. will provide assistance on moving of all traffic signal boxes.

25. A preconstruction meeting with the City of Cape Coral inspectors, the contractor and any subcontractors is required prior to commencing work in the City of Cape Coral's right-of-way.

26. The contractor shall restore all city rights-of-ways disturbed or damaged prior to a City Site Development Review final.

27. Alley right-of-way shall be barricaded at the start of construction, on both side property lines with a minimum of type III D.O.T. barricades and with signs stating, "Do Not Enter or Road Closed" on both barricades. Barricades shall remain in place until the City Site Development Review final inspection.

28. Any differences in grade between the alley pavement edge and private property shall be graded at a 4:1 slope.

Typical General Utility Notes

- The contractor or owner's representative will be responsible for obtaining an appropriate sized temporary jumper assembly with meter from the City of Cape Corals Utility Collection and Distribution Department at 574-0852 prior to receiving City water for construction and/or tying into any existing potable water main lines. A billing account must be set up through the City's Customer Billing Department prior to installation. A representative from the City of Cape Coral's Development Services at 242-3634 must be notified 48 hours in advance of installation and be present to witness and record the installation process. Account documentation must be submitted to the Site Development and Review inspector at the time of meter installation. After construction is complete and before the temporary jumper and meter is removed all potable water mains shall be flushed and pressure tested per AWWA section C-600 and disinfected per AWWA C-651.
- The contractor is responsible for notifying the City of Cape Coral's Utilities Collection/Distribution Division at 574-0852 a minimum of 7 days prior to any shut down or diversion of an existing water main. A 48-hour notice is required for a pressure test, hot tap, or tie in to existing utility main, and prior to beginning any utility construction. Also, the Contractor will distribute any interruption of services notices to all affected parties and the City will distribute all boil water and rescission notices.
- The contractor is prohibited from turning off any existing main line valves. These will be turned off by a representative of the City of Cape Coral's Utility Department at the contractors arranged time and date.

- All existing utility service connections that will not be utilized for this project shall be abandoned at the main or point agreed upon by the Utility Inspector, per City of Cape Coral Specifications. Water and Irrigation services must be abandoned at the main. Sewer laterals must be capped at the ROW with an approved locator installed. A visual inspection must be completed by a City of Cape Coral Utilities Inspector.
- The contractor will need to adjust the existing utilities affected by the newly proposed finished grade at their expense. These items include but not limited to; valve boxes, valve pads, valve stem extensions, service connections and accessories, backflow prevention devices, meter boxes, fire hydrants, manhole covers and/or adjustment rings. It is the contractors' responsibility to verify that adequate depths and clearances exist to make the system hydraulics work properly. Any changes to existing utilities must meet the City of Cape Coral specifications. Disinfection and re-sampling will be required when any existing potable water main or service is disturbed and is the responsibility of the contractor at his expense.
- All Fire Lines and Private Hydrants will require the installation of an approved DDCV assembly installed as close to the ROW as possible within the PUE. A fire hydrant responsibility agreement will be required for all private fire hydrants. All above ground assemblies, pipe, and fittings must be painted per City of Cape Coral Technical Specifications Protective Coatings Section 09800.
- Any work or materials which do not conform to the City of Cape Coral's specifications or any work performed without the knowledge of the City of Cape Coral Utility Inspectors or Representatives is subject to removal and replacement at the contractor's expense.
- The standard minimum cover for a water, irrigation or force main, which is not under pavement, is 30" below finished grade, or 42" below the edge of pavement. The minimum cover for water mains placed under pavement is 36". Please defer to the Utility Design Procedures Manual Section 4.1.5.
- The contractor shall provide all labor, materials, and equipment necessary to dewater trench and secure excavations. The contractor shall secure all necessary permits associated with the City of Cape Corals Utility Design Procedures Manual Technical Specifications section 02140. All dewatering shall comply with the regulations of the South Florida Water Management District and any agency with jurisdiction.
- The contractor shall locate and verify the size, location, and depth of all existing utilities on site. The locations of existing utilities are approximate and must be verified by the contractor. The contractor has sole responsibility to locate and protect underground utilities in the project area. The contractor shall have all utilities identified and marked prior to beginning construction.
- The contractor shall notify all utility companies in the area before beginning construction and be responsible for protection of on-site utilities including locates during construction. Any utilities that are disturbed or damaged by the contractor shall be immediately repaired or replaced by the contractor at his expense using City approved materials and must be reported to the City of Cape Coral Utilities Collection/ Distribution Department (574-0852). All repairs must be inspected by a City Utilities Inspector prior to backfill and restoration. If the contractor is unable to make the necessary repairs, the contractor will be held liable for costs associated with the repairs by city personnel.
- The contractor shall adjust (as required) pipeline alignments horizontally and/or vertically to avoid conflicts with actual field conditions as uncovered during construction. Horizontal and vertical separation shall conform to the City of Cape Coral Design Procedures Manual sections 1.5.1 and 1.5.2.
- The Contractor shall maintain a current and updated set of as-built drawings at all times and provide one copy to the engineer upon completion of construction. Acceptance of the completed utility system will not be given final approval by the Utilities Department until as-built plans have been submitted and approved by the Engineer of Record.

Conceptual Site Plan 1 with Architectural Plans

CHARTER ELEMENTARY SCHOOL NORTH

CAPE CORAL, FLORIDA

ARCHITECT
CASTELLANOS + TRAMONTE ARCHITECTS
1625 S.E. 46TH STREET
SUITE 2A
CAPE CORAL, FLORIDA 239-549-0997

GENERAL NOTES:

INDUSTRY STANDARDS. INDUSTRY STANDARDS SHALL HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF WORK AS IF COPIES DIRECTLY INTO THE CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THERE WITH. COMPLY WITH STANDARDS IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED OR REQUIRED BY GOVERNING AUTHORITIES.

SUPERVISION AND CONTROL:
THE ARCHITECT HAS NOT BEEN RETAINED NOR IS RESPONSIBLE FOR THE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION OF THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FIELD SUPERVISION, CONSTRUCTION ADMINISTRATION, REVIEW AND APPROVAL OF ALL SHOP DRAWINGS, NOTIFICATION ON SITE OF ALL DIMENSIONS, AND STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF RECEIPT OF CONSTRUCTION DOCUMENTS OF ANY ORDER OR DISCREPANCY OF THE ARCHITECT.

THE GENERAL CONTRACTOR AGREES TO ASSUME LIABILITY FOR CORRECTIVE MEASURES SHOULD THE ARCHITECT NOT BE INFORMED AS NOTED. THE GENERAL CONTRACTOR SHALL NOT DEVIATE FROM CONSTRUCTION DOCUMENTS, OR MAKE SUBSTITUTES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. THE GENERAL CONTRACTOR SHALL ASSURE A QUALIFIED CONSTRUCTION SUPERVISOR TO THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUPERVISOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF SURVEYING, RECORDING, INSPECTIONS AND TESTING, GENERAL INSTALLATION PROCEDURES, CUTTING AND FINISHING, AND CLEANING/PROTECTING.

GENERAL INSTALLATION PROCEDURES:
IN ALL WORK, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND INTERFACING WITH OTHER WORK, MEET AT PROJECT SITE WITH INSTALLER AND/OR REPRESENTATIVES OF MANUFACTURERS AND FABRICATORS WHO ARE INVOLVED IN OR EFFECTED BY THE UNIT OF WORK WHICH HAS PRECEDED OR WILL FOLLOW. RECORD DISCREPANCIES. COMPLY WITH MANUFACTURER'S APPLICABLE INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION. INSPECT EACH ITEM OF MATERIAL OR EQUIPMENT IMMEDIATELY PRIOR TO INSTALLATION, AND SELECT OR CHANGED ON DEFECTIVE ITEMS. PROVIDE ATTACHMENT AND CONNECTION DETAILS AND METHODS FOR SECURING WORK PROPERLY AS IT IS INSTALLED, TRUE TO LINE AND LEVEL AND WITHIN RECOMMENDED INDUSTRY TOLERANCES. ALLOW FOR EXPANSION AND BUILDING MOVEMENTS, PROVIDE UNIFORM JOINT WORK IN EXPOSED WORK, ORANGE FOR BEST VISUAL EFFECT.

RECHECK MEASUREMENTS AND DIMENSIONS OF THE WORK, AS IN INTERNAL STEP OF STARTING EACH INSTALLATION AND MAKING EACH PURCHASE OF EQUIPMENT.

INSTALL WORK DURING CONDITIONS OF TEMPERATURE, HUMIDITY, EXPOSURE, FORECASTED WEATHER AND STATUS OF PROJECT COMPLETION, WHICH WILL YIELD THE BEST POSSIBLE RESULTS FOR EACH UNIT OF WORK, IN COORDINATION WITH THE OWNER, MEET, LOCATE EACH UNIT OF WORK FROM NON-COMPOSITE WORK, AS REQUIRED TO PREVENT DETEIORATION. COORDINATE ENCLOSURE (CLOSING IN) OF WORK WITH REQUIRED INSPECTIONS AND TESTS, SO AS TO MINIMIZE THE NECESSITY OF UNDOING WORK FOR THAT PURPOSE. WHERE INSTALLING HEIGHTS AND LOCATIONS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT INDUSTRY-RECOMMENDED STANDARDS MOUNTING HEIGHTS (LOCATIONS) FOR APPLICATIONS INDICATED. AFTER QUESTIONABLE CHOICES TO ARCHITECT/OWNER.

TEMPORARY FACILITIES:
REFER TO THE "GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION" FOR BASIC CONTRACTORS TO PROVIDE THE FOLLOWING SERVICES AS REQUIRED TO PERFORM THE WORK.

TEMPORARY UTILITY SERVICES:
TEMPORARY CONSTRUCTION FACILITIES, WATER DISTRIBUTION, DRAINAGE, ENCLOSURE, POWER DISTRIBUTION, TEMPORARY LIGHTING, TEMPORARY ROADS, TEMPORARY CLEANING/PAINTING, AND BASIC CONSTRUCTION FACILITIES.

TEMPORARY SUPPORT FACILITIES: CONTRACTOR'S FIELD OFFICE, DRINKING WATER, TOILETS, ETC. GENERAL CONTRACTOR SHALL PROVIDE PROJECT IDENTIFICATION SIGN (TO INCLUDE NAME OF PROJECT OWNER, CONTRACTOR, ARCHITECT, AND ADDITIONAL INFORMATION AS REQUESTED BY THE OWNER. CONTRACTOR SHALL SUBMIT LAISSEZ-PASSER FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.

GENERAL: FIRE PROTECTION, BARRICADES, FENCING, LOCKUP AND SECURITY, SCHEDULE PROTECTION, BATHROOM SERVICE (WHEN REQUIRED BY OWNER OR CONTRACTOR), DEMOLITION PROTECTION, REFER ALL PRODUCT SELECTIONS AND SUBSTITUTIONS TO THE OWNER FOR FINAL APPROVAL PRIOR TO ACTUAL PURCHASE OF MATERIALS.

INDEMNITY AND CLAUSE:
ONE YEAR WRITTEN CLAUSE IS REQUIRED ON ALL WORK UNDER THIS CONTRACT. SPECIFIC PRODUCT WARRANTIES WHERE THEY APPLY SHALL ALL ACCORD TO THE OWNER. PROVIDE WRITTEN STATEMENTS AND/OR COPIES OF ALL WARRANTIES/GUARANTEES TO THE OWNER.

FINAL CLEANING:
AT PROJECT COMPLETION, THE CLEAN OR RECLEAN ENTIRE WORK TO NORMAL LEVEL FOR "TYPICAL MAINTENANCE/CLEANING OF BUILDING PROJECTS OF SIMILAR NATURE. REMOVE NON-PERMANENT PROTECTIONS AND LABELS, POLISH GLASS, CLEAN EXPOSED SURFACES, TOUCH-UP SCRATCH DAMAGE, REPLACE FILTERS, REMOVE DEBRIS, REPLACE BURNED OUT LIGHTS, SHEET AND HIGH PILEUP AREAS, POLISH CHAIRS AND CHAIRS AND SWITCHE PLUMBING.

PROJECT DATA SUMMARY				
PROJECT NAME:	CHARTER ELEMENTARY SCHOOL NORTH			
PROJECT ADDRESS:	308 S.E. 16TH AVE, CAPE CORAL, FL 33901			
PROJECT USE:	SCHOOL			
CONTACT:	ART CASTELLANOS PHONE: 239-549-0997			
APPLICABLE CODES:				
BUILDING CODE:	FLORIDA BUILDING CODE, 6TH EDITION (2017)			
MECHANICAL & PLUMBING CODE:	FLORIDA BUILDING CODE, 6TH EDITION (2017) - PLUMBING, MECHANICAL & FUEL GAS FLORIDA BUILDING CODE, 6TH EDITION (2017)			
ELECTRICAL CODE:	NEC, 2011 EDITION FLORIDA BUILDING CODE 6TH EDITION (2017)			
FIRE CODE:	FLORIDA FIRE PREVENTION CODE, 6TH EDITION (2017)			
ACCESSIBILITY CODE:	FLORIDA BUILDING CODE, 6TH EDITION (2017) - ACCESSIBILITY			
TYPE OF CONSTRUCTION (TABLE 601)				
TYPE VII, UNPROTECTED, FULLY SPRINKLERED				
AREA INDICATORS:				
EXISTING FIRST FLOOR AREA:	33,768 SF	ADDITION FIRST FLOOR:	10,182 SF	
EXISTING SECOND FLOOR AREA:	22,299 SF	ADDITION SECOND FLOOR:	10,182 SF	
PROPOSED TOTAL FIRST FLOOR AREA:	43,950 SF			
PROPOSED TOTAL SECOND FLOOR AREA:	32,481 SF			
FIRE PROTECTION PER TABLE 601				
COMPONENT	REQUIREMENT	PROPOSED RATING	COMPLY NO.	
STRUCTURAL FRAME	0	N/A	N/A	
BEARING WALLS	0	N/A	N/A	
EXTERIOR	0	N/A	N/A	
ALL WALLS ARE GREATER THAN 32" FROM PROPERTY LINE 0 (N/A) ALLOWED/PROPOSED				
INTERIOR	0	N/A	N/A	
NON-BEARING WALLS				
EXTERIOR	0	N/A	N/A	
INTERIOR	0	N/A	N/A	
FLOOR CONSTRUCTION	0	N/A	N/A	
ROOF CONSTRUCTION	0	N/A	N/A	
FIRE RESISTANT PARTITIONS				
VALUES ATTAINED				
OCCUPANCY SEPARATIONS:	1 HR.	3/4 HR. (TABLE 714.5)		
EXIT ACCESS CORRIDOR:	0 HR.	N/A		
FBC TABLE 1018.1				
SWIFT ENCLOSURE:	0 HR.	N/A		
EXTERIOR FINISH CLASSIFICATIONS				
PER TABLE 601.5 FLORIDA BUILDING CODE, 6TH EDITION (2017)				
R-2 & S-2 OCCUPANCY (FULLY SPRINKLERED)				
EXIT ENCLOSURES:				
INTERIOR EXIT PASSAGEWAYS	A, B OR C			
CORRIDORS	A, B OR C			
ROOMS & ENCLOSED SPACES	A, B OR C			
EXTERIOR FINISH CLASSIFICATIONS (FLORIDA FIRE PREVENTION CODE, 2017)				
R-2 & S-2 OCCUPANCY (FULLY SPRINKLERED)				
EXITS & EXIT ACCESS CORRIDORS	A, B OR C			
OTHER THAN EXITS	A, B OR C			
EXIT ACCESS TRAVEL DISTANCE (FROM 1018.4)	EXISTING	PROPOSED		
	250 FEET	< 250 FEET		
COMMON PATH OF EGRESS TRAVEL (FROM 1014.7)	100 FEET	< 100 FEET		
MINIMUM CORRIDOR WIDTH (FROM 1018.7)	44 INCHES	> 44 INCHES		
MIN. TRAILING CORRIDOR (1018.4)	50 FEET	< 50 FEET		
MIN. OPENING WIDTH (1018.1.1)	32 INCHES	36 INCHES		

SHEET INDEX

- T-1 TITLE PAGE, CODE DATA & NOTES
A-1 SITE PLAN
A-2 FLOOR PLAN
A-4 TYP. CLASSROOM
A-7 EXTERIOR ELEVATIONS
A-9 BUILDING SECTIONS

CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

CASTELLANOS + TRAMONTE
ARCHITECTS
1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997

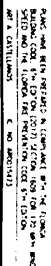
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CHECKED BY	AM
ISSUED FOR:	

DRAWING NAME:
TITLE SHEET

SHEET
T-1

PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, 6TH EDITION (2017), SECTION 1609 FOR 175 MPH WIND SPEED AND THE FLORIDA FIRE PREVENTION CODE, 6TH EDITION.

ART & CASTELLANOS © NO. 00015473



13395

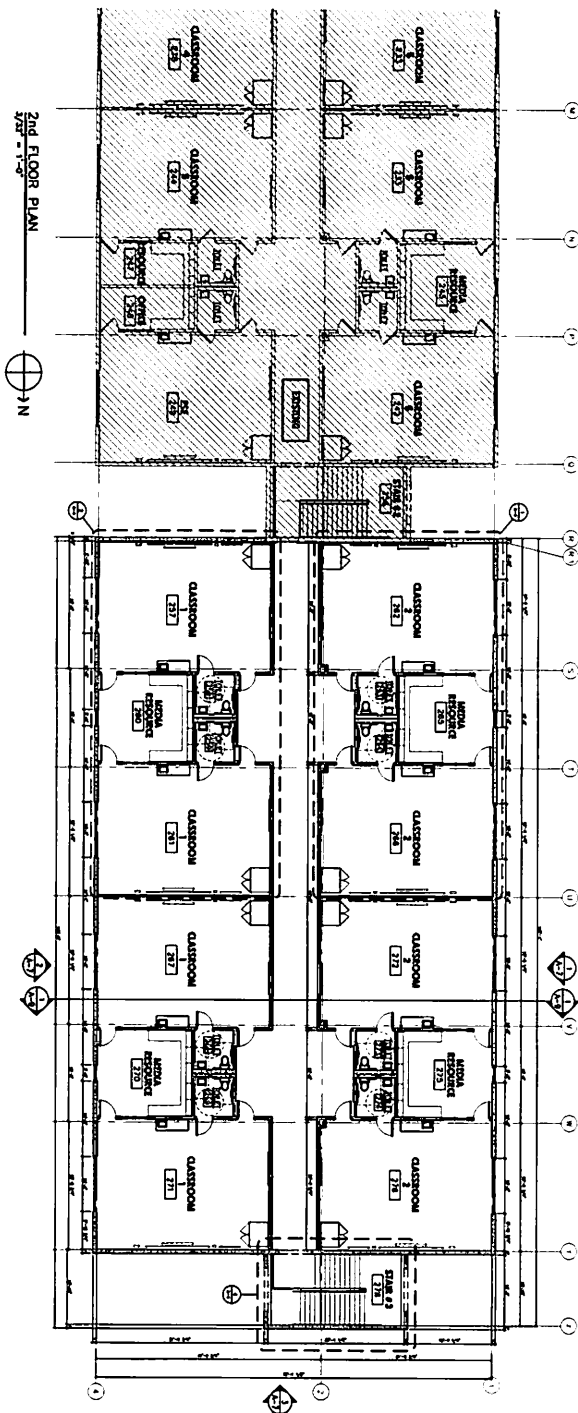
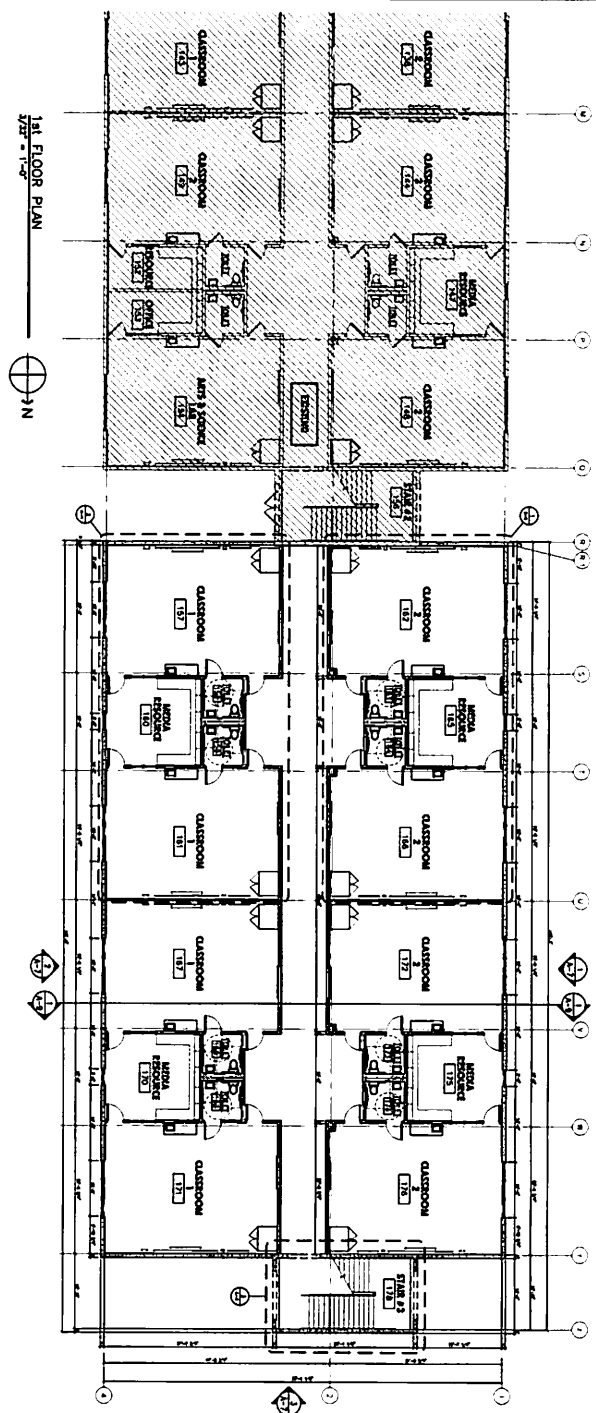
SITE PU

**CASTELLANOS
+ TRAMONTE
ARCHITECTS**

1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 26003303


CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

[illegible]




- [illegible]


10	1. $3\sqrt{2}$ or 2. $4\sqrt{2}$ or 3. $5\sqrt{2}$ or 4. $6\sqrt{2}$ or 5. $7\sqrt{2}$ or 6. $8\sqrt{2}$ or 7. $9\sqrt{2}$ or 8. $10\sqrt{2}$ or 9. $11\sqrt{2}$ or 10. $12\sqrt{2}$ or 11. $13\sqrt{2}$ or 12. $14\sqrt{2}$ or 13. $15\sqrt{2}$ or 14. $16\sqrt{2}$ or 15. $17\sqrt{2}$ or 16. $18\sqrt{2}$ or 17. $19\sqrt{2}$ or 18. $20\sqrt{2}$ or 19. $21\sqrt{2}$ or 20. $22\sqrt{2}$ or 21. $23\sqrt{2}$ or 22. $24\sqrt{2}$ or 23. $25\sqrt{2}$ or 24. $26\sqrt{2}$ or 25. $27\sqrt{2}$ or 26. $28\sqrt{2}$ or 27. $29\sqrt{2}$ or 28. $30\sqrt{2}$ or 29. $31\sqrt{2}$ or 30. $32\sqrt{2}$ or 31. $33\sqrt{2}$ or 32. $34\sqrt{2}$ or 33. $35\sqrt{2}$ or 34. $36\sqrt{2}$ or 35. $37\sqrt{2}$ or 36. $38\sqrt{2}$ or 37. $39\sqrt{2}$ or 38. $40\sqrt{2}$ or 39. $41\sqrt{2}$ or 40. $42\sqrt{2}$ or 41. $43\sqrt{2}$ or 42. $44\sqrt{2}$ or 43. $45\sqrt{2}$ or 44. $46\sqrt{2}$ or 45. $47\sqrt{2}$ or 46. $48\sqrt{2}$ or 47. $49\sqrt{2}$ or 48. $50\sqrt{2}$ or 49. $51\sqrt{2}$ or 50. $52\sqrt{2}$ or 51. $53\sqrt{2}$ or 52. $54\sqrt{2}$ or 53. $55\sqrt{2}$ or 54. $56\sqrt{2}$ or 55. $57\sqrt{2}$ or 56. $58\sqrt{2}$ or 57. $59\sqrt{2}$ or 58. $60\sqrt{2}$ or 59. $61\sqrt{2}$ or 60. $62\sqrt{2}$ or 61. $63\sqrt{2}$ or 62. $64\sqrt{2}$ or 63. $65\sqrt{2}$ or 64. $66\sqrt{2}$ or 65. $67\sqrt{2}$ or 66. $68\sqrt{2}$ or 67. $69\sqrt{2}$ or 68. $70\sqrt{2}$ or 69. $71\sqrt{2}$ or 70. $72\sqrt{2}$ or 71. $73\sqrt{2}$ or 72. $74\sqrt{2}$ or 73. $75\sqrt{2}$ or 74. $76\sqrt{2}$ or 75. $77\sqrt{2}$ or 76. $78\sqrt{2}$ or 77. $79\sqrt{2}$ or 78. $80\sqrt{2}$ or 79. $81\sqrt{2}$ or 80. $82\sqrt{2}$ or 81. $83\sqrt{2}$ or 82. $84\sqrt{2}$ or 83. $85\sqrt{2}$ or 84. $86\sqrt{2}$ or 85. $87\sqrt{2}$ or 86. $88\sqrt{2}$ or 87. $89\sqrt{2}$ or 88. $90\sqrt{2}$ or 89. $91\sqrt{2}$ or 90. $92\sqrt{2}$ or 91. $93\sqrt{2}$ or 92. $94\sqrt{2}$ or 93. $95\sqrt{2}$ or 94. $96\sqrt{2}$ or 95. $97\sqrt{2}$ or 96. $98\sqrt{2}$ or 97. $99\sqrt{2}$ or 98. $100\sqrt{2}$ or 99. $101\sqrt{2}$ or 100. $102\sqrt{2}$ or 101. $103\sqrt{2}$ or 102. $104\sqrt{2}$ or 103. $105\sqrt{2}$ or 104. $106\sqrt{2}$ or 105. $107\sqrt{2}$ or 106. $108\sqrt{2}$ or 107. $109\sqrt{2}$ or 108. $110\sqrt{2}$ or 109. $111\sqrt{2}$ or 110. $112\sqrt{2}$ or 111. $113\sqrt{2}$ or 112. $114\sqrt{2}$ or 113. $115\sqrt{2}$ or 114. $116\sqrt{2}$ or 115. $117\sqrt{2}$ or 116. $118\sqrt{2}$ or 117. $119\sqrt{2}$ or 118. $120\sqrt{2}$ or 119. $121\sqrt{2}$ or 120. $122\sqrt{2}$ or 121. $123\sqrt{2}$ or 122. $124\sqrt{2}$ or 123. $125\sqrt{2}$ or 124. $126\sqrt{2}$ or 125. $127\sqrt{2}$ or 126. $128\sqrt{2}$ or 127. $129\sqrt{2}$ or 128. $130\sqrt{2}$ or 129. $131\sqrt{2}$ or 130. $132\sqrt{2}$ or 131. $133\sqrt{2}$ or 132. $134\sqrt{2}$ or 133. $135\sqrt{2}$ or 134. $136\sqrt{2}$ or 135. $137\sqrt{2}$ or 136. $138\sqrt{2}$ or 137. $139\sqrt{2}$ or 138. $140\sqrt{2}$ or 139. $141\sqrt{2}$ or 140. $142\sqrt{2}$ or 141. $143\sqrt{2}$ or 142. $144\sqrt{2}$ or 143. $145\sqrt{2}$ or 144. $146\sqrt{2}$ or 145. $147\sqrt{2}$ or 146. $148\sqrt{2}$ or 147. $149\sqrt{2}$ or 148. $150\sqrt{2}$ or 149. $151\sqrt{2}$ or 150. $152\sqrt{2}$ or 151. $153\sqrt{2}$ or 152. $154\sqrt{2}$ or 153. $155\sqrt{2}$ or 154. $156\sqrt{2}$ or 155. $157\sqrt{2}$ or 156. $158\sqrt{2}$ or 157. $159\sqrt{2}$ or 158. $160\sqrt{2}$ or 159. $161\sqrt{2}$ or 160. $162\sqrt{2}$ or 161. $163\sqrt{2}$ or 162. $164\sqrt{2}$ or 163. $165\sqrt{2}$ or 164. $166\sqrt{2}$ or 165. $167\sqrt{2}$ or 166. $168\sqrt{2}$ or 167. $169\sqrt{2}$ or 168. $170\sqrt{2}$ or 169. $171\sqrt{2}$ or 170. $172\sqrt{2}$ or 171. $173\sqrt{2}$ or 172. $174\sqrt{2}$ or 173. $175\sqrt{2}$ or 174. $176\sqrt{2}$ or 175. $177\sqrt{2}$ or 176. $178\sqrt{2}$ or 177. $179\sqrt{2}$ or 178. $180\sqrt{2}$ or 179. $181\sqrt{2}$ or 180. $182\sqrt{2}$ or 181. $183\sqrt{2}$ or 182. $184\sqrt{2}$ or 183. $185\sqrt{2}$ or 184. $186\sqrt{2}$ or 185. $187\sqrt{2}$ or 186. $188\sqrt{2}$ or 187. $189\sqrt{2}$ or 188. $190\sqrt{2}$ or 189. $191\sqrt{2}$ or 190. $192\sqrt{2}$ or 191. $193\sqrt{2}$ or 192. $194\sqrt{2}$ or 193. $195\sqrt{2}$ or 194. $196\sqrt{2}$ or 195. $197\sqrt{2}$ or 196. $198\sqrt{2}$ or 197. $199\sqrt{2}$ or 198. $200\sqrt{2}$ or 199. $201\sqrt{2}$ or 200. $202\sqrt{2}$ or 201. $203\sqrt{2}$ or 202. $204\sqrt{2}$ or 203. $205\sqrt{2}$ or 204. $206\sqrt{2}$ or 205. $207\sqrt{2}$ or 206. $208\sqrt{2}$ or 207. $209\sqrt{2}$ or 208. $210\sqrt{2}$ or 209. $211\sqrt{2}$ or 210. $212\sqrt{2}$ or 211. $213\sqrt{2}$ or 212. $214\sqrt{2}$ or 213. $215\sqrt{2}$ or 214. $216\sqrt{2}$ or 215. $217\sqrt{2}$ or 216. $218\sqrt{2}$ or 217. $219\sqrt{2}$ or 218. $220\sqrt{2}$ or 219. $221\sqrt{2}$ or 220. $222\sqrt{2}$ or 221. $223\sqrt{2}$ or 222. $224\sqrt{2}$ or 223. $225\sqrt{2}$ or 224. $226\sqrt{2}$ or 225. $227\sqrt{2}$ or 226. $228\sqrt{2$
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 NO CODE SET CODE SYMBOL A-1




 WITH 510 PARTIAL, 100 NEW 115



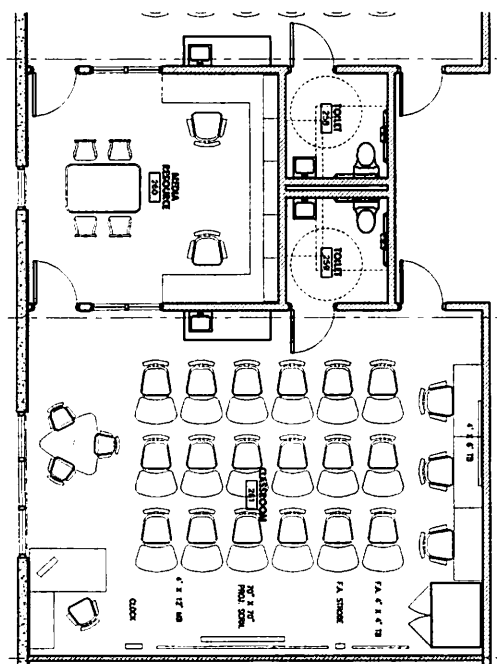
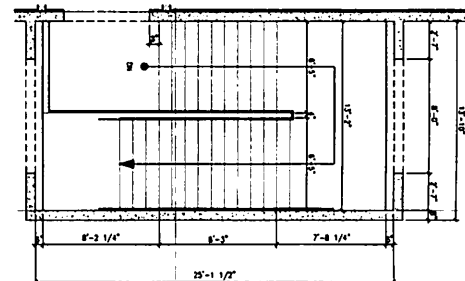
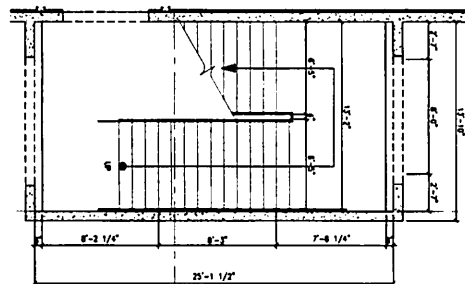
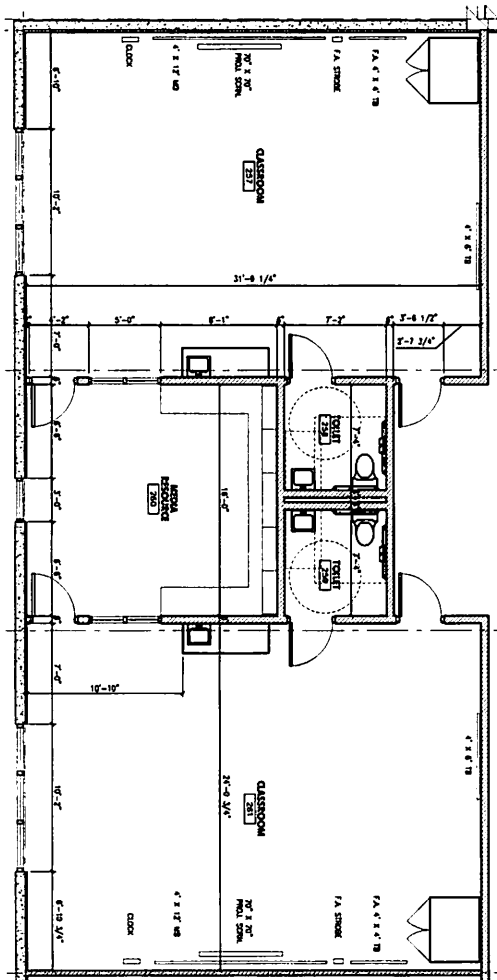
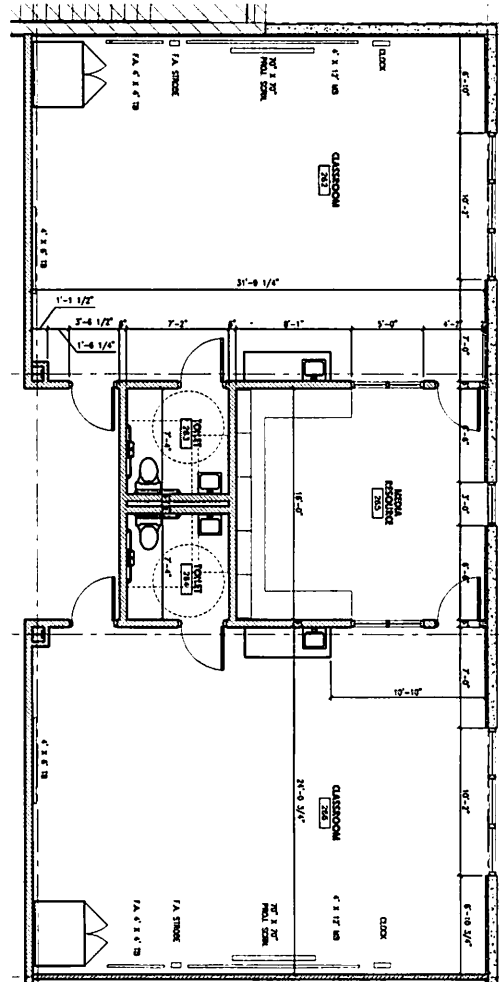
 NE WALL



 CODE 110, SET A-1



 BRUSH 110, SET A-1



PLANS HAVE BEEN IMPROVED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, SIXTH EDITION (2017) SECTION 609 FOR ITS NEW ENHANCED CODE AND THE FLORIDA FIRE PREVENTION CODE, FIFTH EDITION.

A-4

SHEET

DATE: _____

CLASSROOM: _____

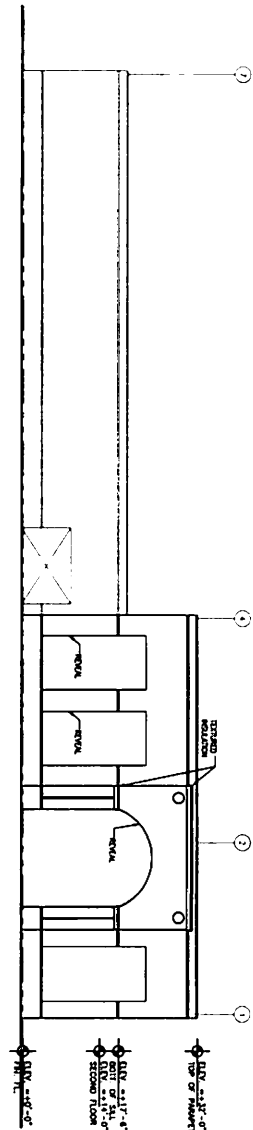
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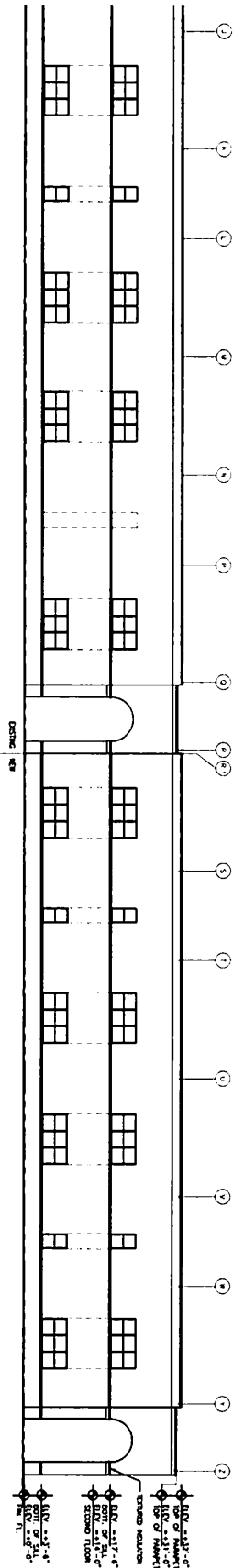
1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 26003303

CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

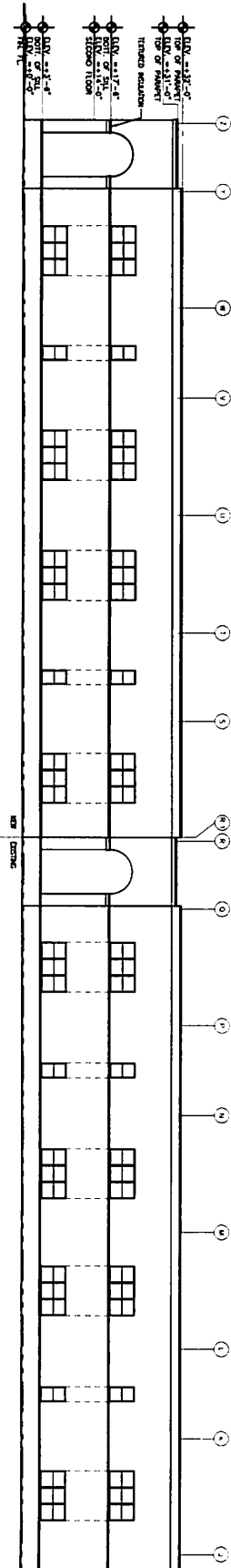
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3 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

PLAN AND ELEVATIONS OF CHARTER ELEMENTARY SCHOOL NORTH, CAPE CORAL, FLORIDA. DRAWN BY: J. CASTELLANOS. CHECKED BY: J. CASTELLANOS. DATE: 10/1/13. SCALE: 1/8" = 1'-0".

SHEET
A-7

DRAWING NAME:
EXTERIOR ELEVATIONS

DATE	BY
10/1/13	J. CASTELLANOS
10/1/13	J. CASTELLANOS

CASTELLANOS + TRAMONTE ARCHITECTS

1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 26003303

CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

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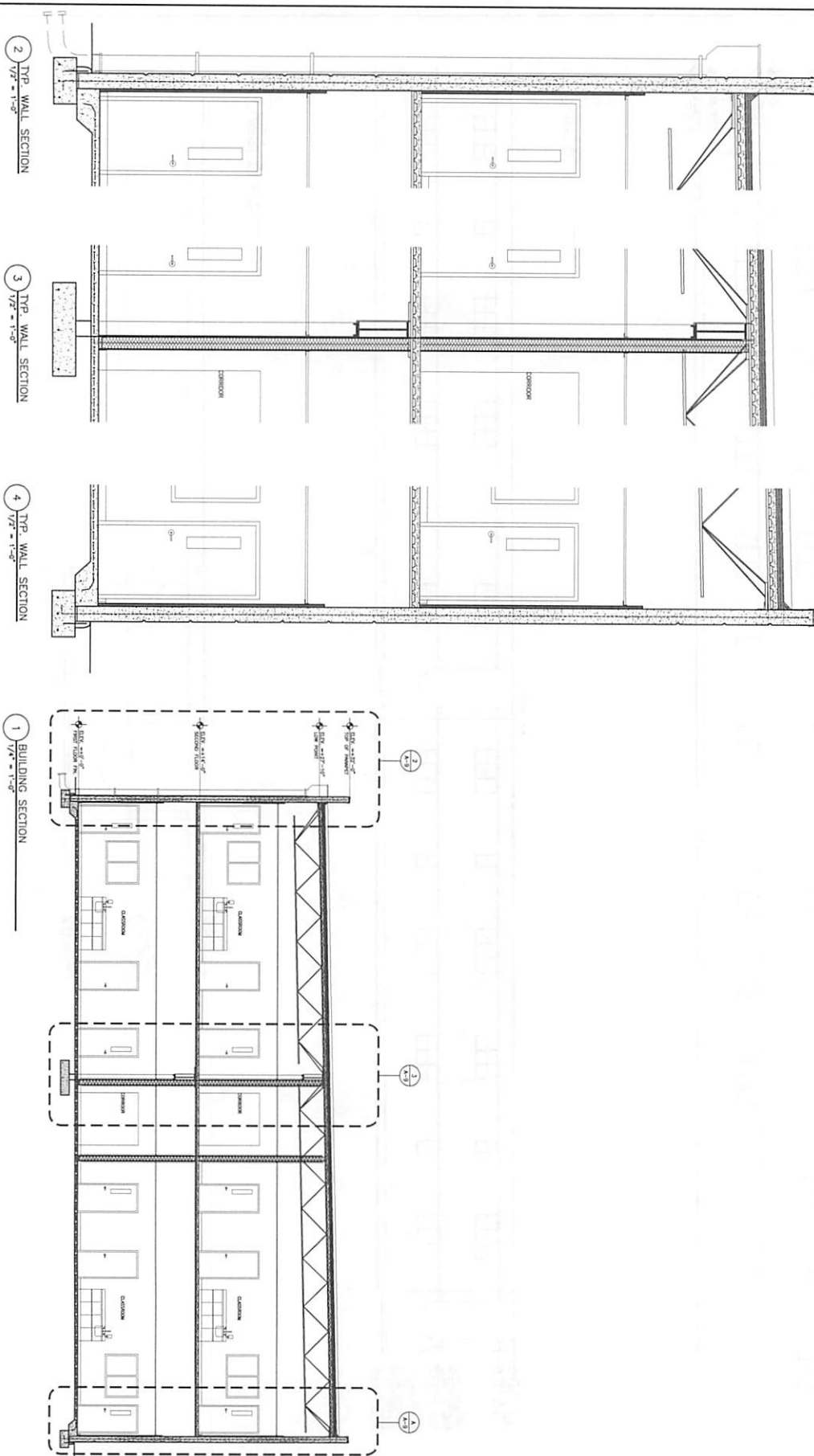
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(239) 549-0997 AA 26003303

BAM
ANC

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PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, 6TH EDITION (2017) SECTION 1609 FOR 170 MPH WIND SPEED AND THE FLORIDA FIRE PREVENTION CODE, 6TH EDITION.

AGT A. CASTELLANOS C. NO. A00019473

A-11

SHEET

DRAWING NAME:

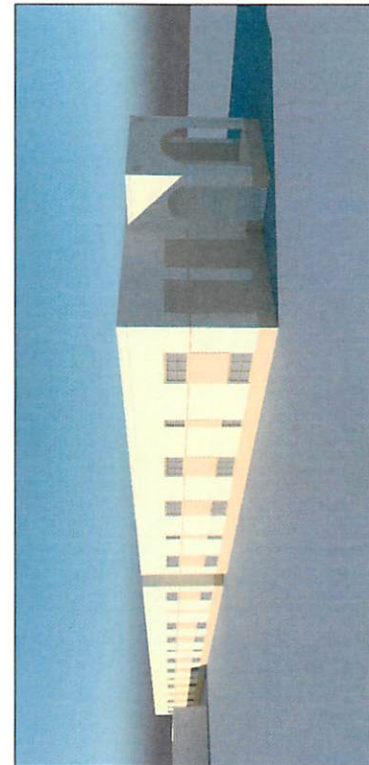
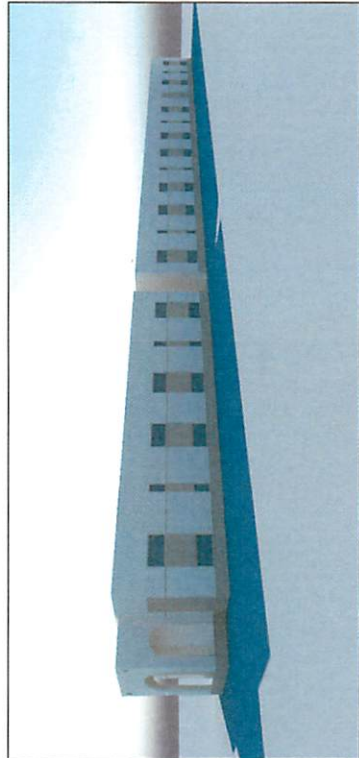
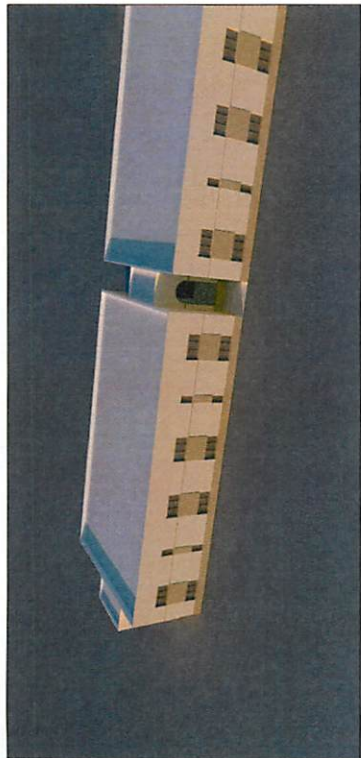
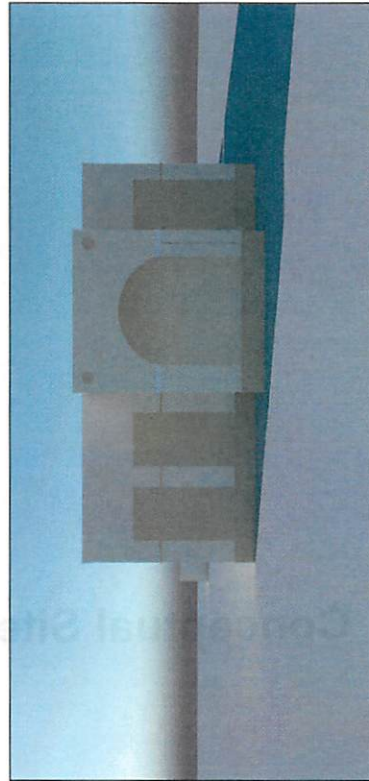
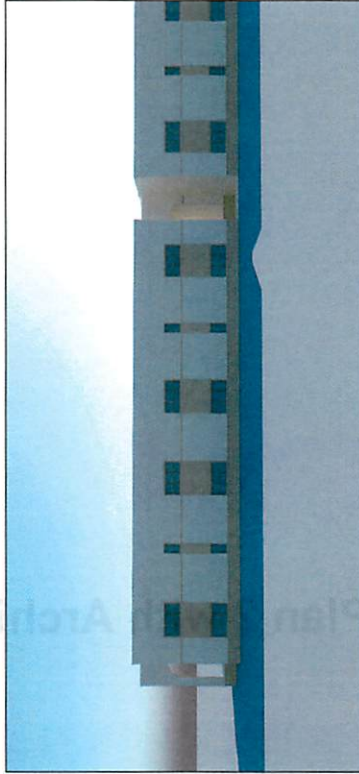
PERSPECTIVES

DESIGNED BY	DATE
ISSUED FOR	DATE

CASTELLANOS + TRAMONTE ARCHITECTS
1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997

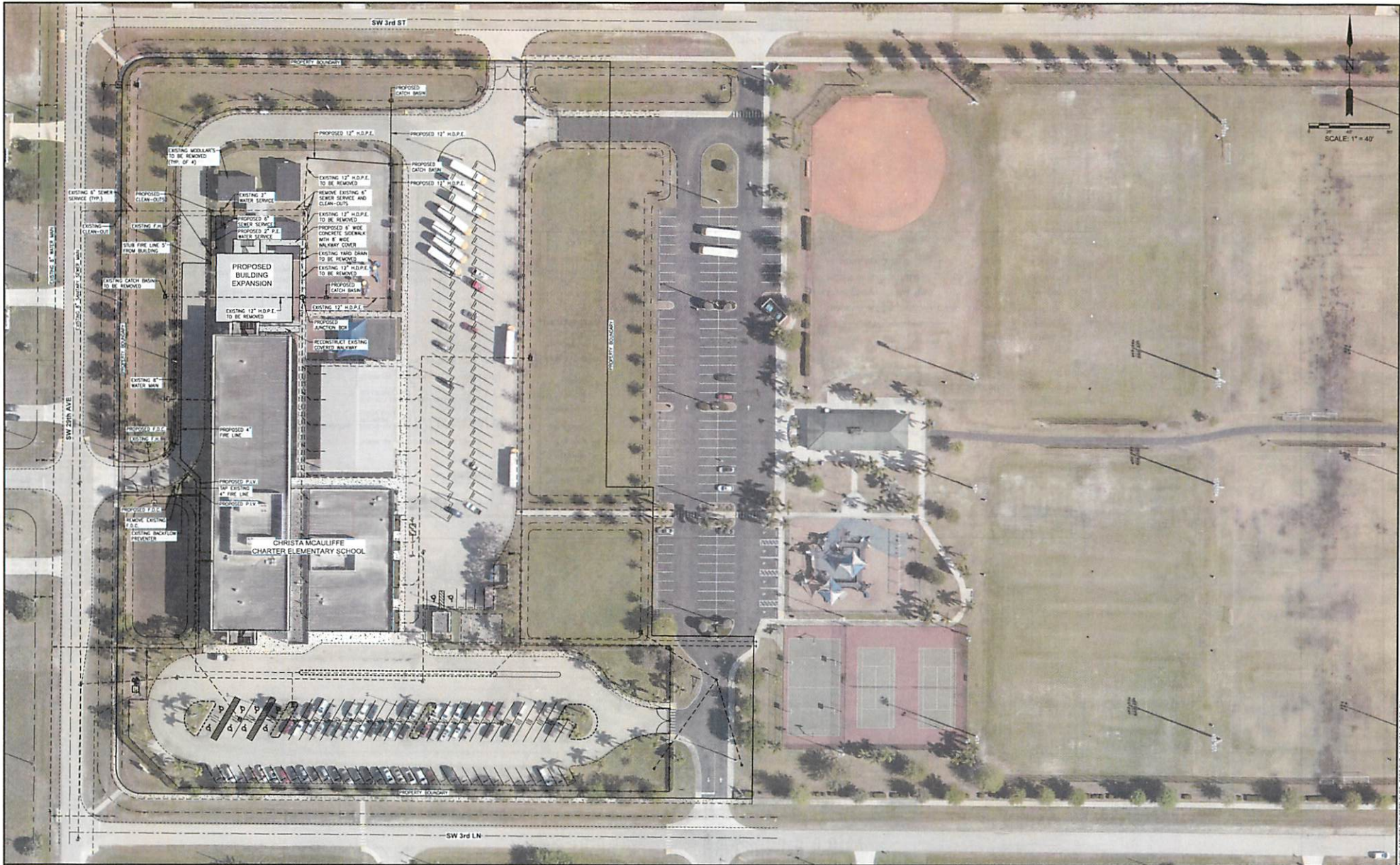
CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

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PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA
STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERING
AND THE FLORIDA FIRE PREVENTION CODE 2ND EDITION
ART. 6, CASTELLANOS K. NO. A0011412

Conceptual Site Plan 2 with Architectural Plans



LEGEND

Revision	Date	Description

DESIGNED BY:	D.W.F.
DRAWN BY:	K.L.M.
APPROVED:	D.W.F.
JOB CODE:	CW03
SCALE:	1" = 40'

GradyMinor

Civil Engineers • Land Surveyors • Planners • Landscape Architects

Fort of Auth, EB 0005151 Fort of Auth, LB 0005151

Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4350

O. Grady Minor and Associates, P.A.
3800 Via Del Rey
Bonita Springs, Florida 34134

Christa McAuliffe Charter Elementary School

CONCEPTUAL SITE PLAN 2

2-STORY (8 TOTAL CLASSROOM ADDITION)

MUNICIPALITY: CITY OF CAPE CORAL
SHE/TW/HP/FRG
17/445/235

DATE: MARCH 2018

PROJECT TYPE: EXHIBIT

SHEET 1 OF 1

R. SMITH, FLTPA, P.E.
FLORIDA P.E. LICENSE NO. 16305

CHARTER ELEMENTARY SCHOOL NORTH

CAPE CORAL, FLORIDA

ARCHITECT
CASTELLANOS + TRAMONTE ARCHITECTS
1625 S.E. 46TH STREET
SUITE 2A
CAPE CORAL, FLORIDA 33904-0997

GENERAL NOTES:

INDUSTRY STANDARDS, INDUSTRY STANDARDS SHALL HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF WORK AS IF COMES DIRECTLY INTO THE CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THERE WITH. COMPLY WITH STANDARDS IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED OR REQUIRED BY GOVERNING AUTHORITIES.

SUPERVISION AND CONTROL:
THE ARCHITECT HAS NOT BEEN DESIGNATED, NOR IS RESPONSIBLE, FOR THE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION OF THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FIELD SUPERVISION, CONSTRUCTION ADMINISTRATION, REVIEW AND APPROVAL OF ALL SHOP DRAWINGS, VERIFICATION ON SITE OF ALL DIMENSIONS, AND STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF RECEIPT OF CONSTRUCTION DOCUMENTS OF ANY ERROR OR OMISSION OF THE ARCHITECT.

THE GENERAL CONTRACTOR AGREES TO ASSUME LIABILITY FOR CORRECTIVE MEASURES SHOULD THE ARCHITECT NOT BE INFORMED AS NOTED THE GENERAL CONTRACTOR SHALL NOT DENY FROM CONSTRUCTION DOCUMENTS, OR HAVE SUBSTITUTES, MATERIALS, METHODS, APPROVAL FROM THE ARCHITECT. THE GENERAL CONTRACTOR SHALL ASSURE A QUALIFIED CONSTRUCTION SUPERVISOR TO THE PROJECT, THE GENERAL CONTRACTOR AND HIS SUPERVISOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF SUBMITTALS/REVISIONS, INSPECTIONS AND TESTING, CRACKS, INSULATION PROBLEMS, CEILING AND FINISHES, AND CLEANING/REPAIRING.

GENERAL INSTALLATION PROCEDURES:
WELL IN ADVANCE OF EACH MAJOR UNIT OF WORK WHICH REQUIRES COORDINATING AND INTERFERING WITH OTHER WORK, MEET AT PROJECT SITE WITH INSTALLER AND/OR REPRESENTATIVES OF MANUFACTURERS AND PARTICIPANTS WHO ARE INVOLVED IN OR EFFECTED BY THE UNIT OF WORK WHICH HAS PROCEEDED OR WILL FOLLOW. RECORD DISCUSSIONS, COMPLY WITH MANUFACTURER'S APPLICABLE INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION. REPORT EACH ITEM OF WORKING OR EQUIPMENT IMMEDIATELY PRIOR TO INSTALLATION, AND SELECT DIMENSIONS OR DETECTIVE ITEMS, PROVIDE ATTENTION AND CORRECTION BEFORE AND AFTER FOR COLLISIONS WITH PROPERTY AS IT IS INSTALLED, TRUE TO LINE AND LEVEL AND WITH RECOGNIZED INDUSTRY TOLERANCE. ALLOW FOR EXPANSION AND BUILDING MOVEMENTS, PROVIDE UNIFORM JOINT NOTING IN EXPOSED WORK, CRACKS FOR BEST VISUAL EFFECT.

RECHECK MEASUREMENTS AND DIMENSIONS OF THE WORK, AS IN INITIAL STEP OF STARTING EACH INSTALLATION AND MAKING EACH PURCHASE OF EQUIPMENT.
INSTALL WORK DURING CONDITIONS OF TEMPERATURE, HUMIDITY, EXPOSURE, FORECASTED WEATHER AND STATUS OF PROJECT COMPLETION WHICH WILL CAUSE BEST POSSIBLE RESULTS FOR EACH UNIT OF WORK, IN COORDINATION WITH THE DESIGN TEAM. SOLICIT EACH UNIT OF WORK FROM NON-COMPATIBLE WORK, AS REQUIRED TO PREVENT DETRIMENTAL, COORDINATE EXPOSURE (COLORS) AND OF WORK WITH REQUIRED INSPECTIONS AND TESTS, SO AS TO MINIMIZE THE NECESSITY OF UNCOVERING WORK FOR TWO PURPOSES. BEFORE MAKING HEIGHTS AND LOCATIONS ARE NOT INDICATED, MEASURE INDIVIDUAL UNITS OF WORK AT INDUSTRY-RECOGNIZED STANDARDS MOUNTING HEIGHTS (LOCATIONS) FOR APPLICATIONS INDICATED. NOTE QUESTIONABLE CHOICES TO ARCHITECT/OWNER.

TEMPORARY FACILITIES:
REFER TO THE "GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION" FOR BASIC COMMITMENTS TO PROVIDE THE FOLLOWING SERVICES AS REQUIRED TO PERFORM THE WORK.
TEMPORARY UTILITY SERVICES:
TEMPORARY CONSTRUCTION FACILITIES: WATER DISTRIBUTION, ELECTRICAL, ENCLOSURE, POWER DISTRIBUTION, TEMPORARY LIGHTING, TEMPORARY REMEDIATION, TEMPORARY ELEVATION/ROOFING, AND WASTE CONSTRUCTION FACILITIES.

TEMPORARY SUPPORT FACILITIES: CONSTRUCTION'S FIELD OFFICE, DRINKING WATER, TOILETS, ETC. GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE CONSTRUCTION SIGN (SEE INDEX) NAME OF PROJECT OWNER, CONTRACTOR, ARCHITECT, AND ADDITIONAL INFORMATION AS REQUESTED BY THE OWNER. CONTRACTOR SHALL SUBMIT LAYOUT FOR ARCHITECT'S APPROVAL, PRIOR TO FABRICATION.

GENERAL FIRE PROTECTION, BARRICADES, FENCING, LOCKUP AND SECURITY, SECURITY PROTECTION, WATCHMAN SERVICE (WHEN REQUIRED BY OWNER OR CONTRACTOR), COMMERCIAL PROTECTION, REFER ALL PRODUCT SELECTIONS AND SUBSTITUTIONS TO THE OWNER FOR FINAL APPROVAL, PRIOR TO ACTUAL PURCHASE OF MATERIALS.

WARRANTY AND GUARANTEE:
ONE YEAR LIMITED WARRANTY IS REQUIRED ON ALL WORK UNDER THIS CONTRACT. SPECIFIC PRODUCT WARRANTIES, WHEN THEY APPLY, SHALL ALSO APPLY TO THE OWNER. PROVIDE WRITTEN STATEMENTS AND/OR COPIES OF ALL WARRANTIES/GUARANTEE TO THE OWNER.

FINAL CLEANING:
IF PROJECT EXCEEDS TIME, CLEAN OR RECLEAN DONE WORK TO NORMAL LEVEL FOR FIRST CLASS MAINTENANCE/CLEANING OR BUILDING PROJECTS OF SIMILAR NATURE. REMOVE NON-PERMANENT PROTECTIONS AND LABELS, POLISH GLASS, CLEAN EXPOSED SURFACES, TOUCH-UP SCRATCH DAMAGE, REPLACE FILTERS, REMOVE DEBRIS, REPLACE BURNT OUT LIGHTS, SHEET AND HIGH PILED AREAS, POLISH STAIRS AND CRACKS AND FINISHES PLUMBING.

PROJECT DATA SUMMARY

PROJECT NAME: CHARTER ELEMENTARY SCHOOL NORTH		TYPE OF PROJECT: NEW BUILDING	
PROJECT ADDRESS: 300 S.W. 12TH AVE., CAPE CORAL, FL 33901		OWNER: FLORIDA DEPT. OF EDUCATION	
PROJECT USE: SCHOOL		DESIGNER: CASTELLANOS + TRAMONTE ARCHITECTS	
CONTACT: ART CASTELLANOS PHONE: 239-549-0997		DATE: 10/1/2017	
APPLICABLE CODES:		MINIMUM FINISH CLASSIFICATION:	
BUILDING CODE: FLORIDA BUILDING CODE, 6TH EDITION (2017)		TYPE 1 & 2: S-2 COMPOSITE (FULLY SPRINKLED)	
Mechanical & Plumbing Code: FLORIDA BUILDING CODE, 6TH EDITION (2017) - PLUMBING, MECHANICAL & PLUMBING GAS FLUORIDE BUILDING CODE, 6TH EDITION (2017)		EXTERIOR ENCLOSURES:	
ELECTRICAL CODE: NEC, 2011 EDITION FLORIDA BUILDING CODE 6TH EDITION (2017)		INTERIOR EXTERIOR PROTECTION: A, B OR C	
FIRE CODE: FLORIDA FIRE PREVENTION CODE, 6TH EDITION (2017)		CORRIDORS: A, B OR C	
ACCESSIBILITY CODE: FLORIDA BUILDING CODE, 6TH EDITION (2017) - ACCESSIBILITY		ROOMS & ENCLOSED SPACES: A, B OR C	
TYPE OF CONSTRUCTION (TABLE 101.1)		MINIMUM FINISH CLASSIFICATION (FLORIDA FIRE PREVENTION CODE, 2017)	
TYPE VI, UNPROTECTED, FULLY SPRINKLED		EXITS & EXIT ACCESS CORRIDORS: A, B OR C	
DATA INSTALLATION		OTHER THAN EXITS: A, B OR C	
EXISTING FIRST FLOOR AREA: 33,769 SF		EXITS (TABLE 101.1):	
EXISTING SECOND FLOOR AREA: 22,769 SF		COMMON PATH OF TRAVEL (TABLE 101.1):	
PROPOSED TOTAL FIRST FLOOR AREA: 38,070 SF		MINIMUM CORRIDOR WIDTH (TABLE 101.1):	
PROPOSED TOTAL SECOND FLOOR AREA: 27,571 SF		MIN. STAIR AND ELEVATOR (TABLE 101.1):	
PROPOSED TOTAL AREA: 65,641 SF		MIN. OPENING WIDTH (TABLE 101.1):	
TYPE OF CONSTRUCTION (TABLE 101.1)		TYPE OF CONSTRUCTION (TABLE 101.1)	
TYPE VI, UNPROTECTED, FULLY SPRINKLED		TYPE VI, UNPROTECTED, FULLY SPRINKLED	

SHEET INDEX

- T-1 TITLE SHEET, CODE DATA & NOTES
- A-1 SITE PLAN
- A-2 FLOOR PLAN
- A-3 TOP, CLASSROOM
- A-4 EXTERIOR ELEVATIONS
- A-5 BUILDING SECTIONS

CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

CASTELLANOS + TRAMONTE
ARCHITECTS
1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997

DRAWN BY:	DW
CHECKED BY:	MC
ISSUED FOR:	

DRAWING NAME:

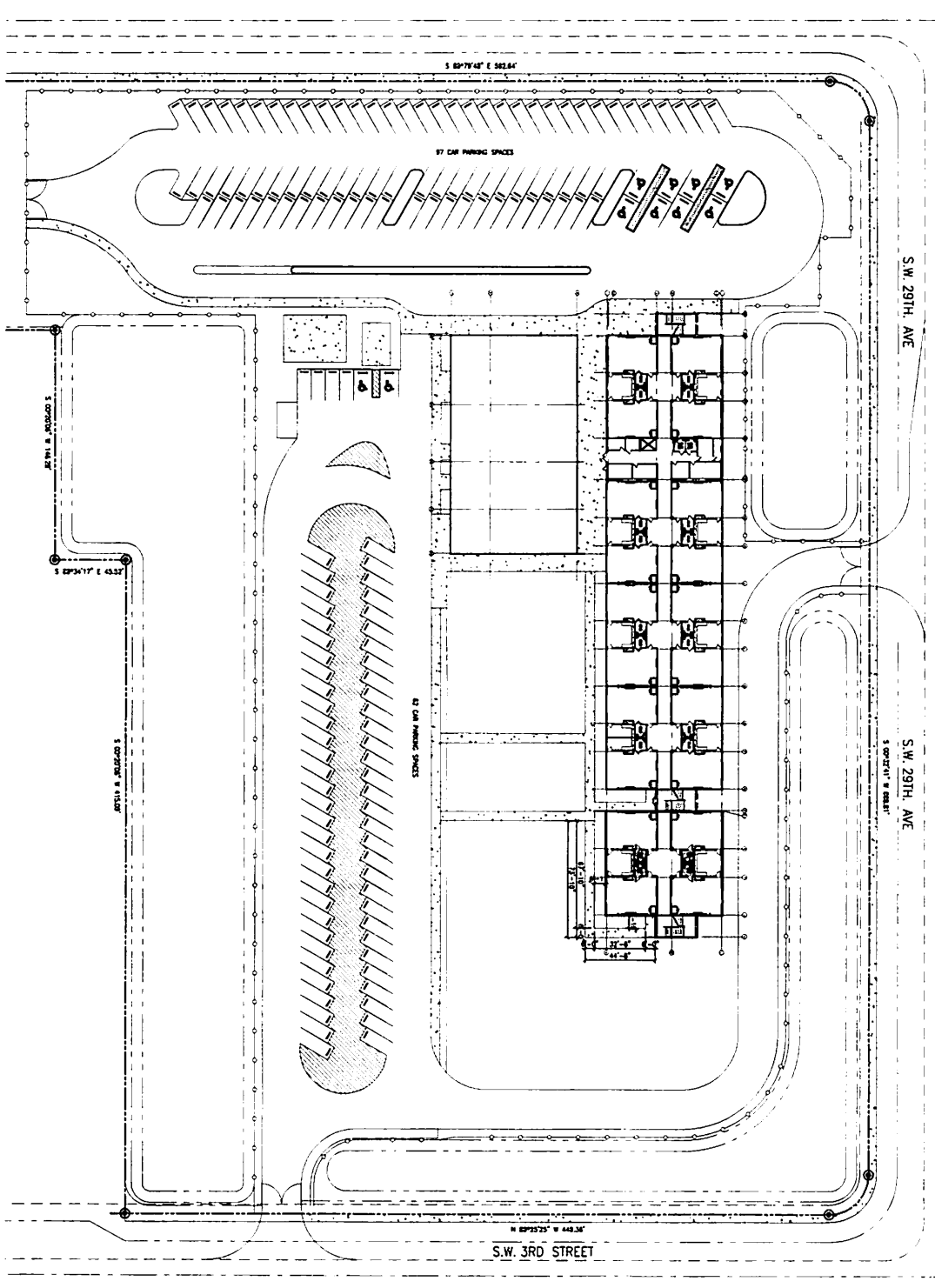
TITLE SHEET

SHEET

T-1

PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, 6TH EDITION (2017) SECTION 1001 FOR 175 MPH WIND SPEED AND THE FLORIDA FIRE PREVENTION CODE 6TH EDITION (2017).
ART & CASTELLANOS E. NO. 00015473

SITE PLAN
1/8" = 1'-0"



PLANS AND SPECIFICATIONS FOR THE CHARTER ELEMENTARY SCHOOL NORTH, CAPE CORAL, FLORIDA. THE SITE PLAN AND SPECIFICATIONS FOR THE CHARTER ELEMENTARY SCHOOL NORTH, CAPE CORAL, FLORIDA, ARE HEREBY SUBMITTED FOR THE RECORD AND FOR THE PURPOSE OF RECORDING THE SAME IN THE PUBLIC RECORDS OF THE STATE OF FLORIDA.

C. NO. 200013413

A-1

SHEET

SITE PLAN

DRAWING NAME:

DATE	BY	CHKD

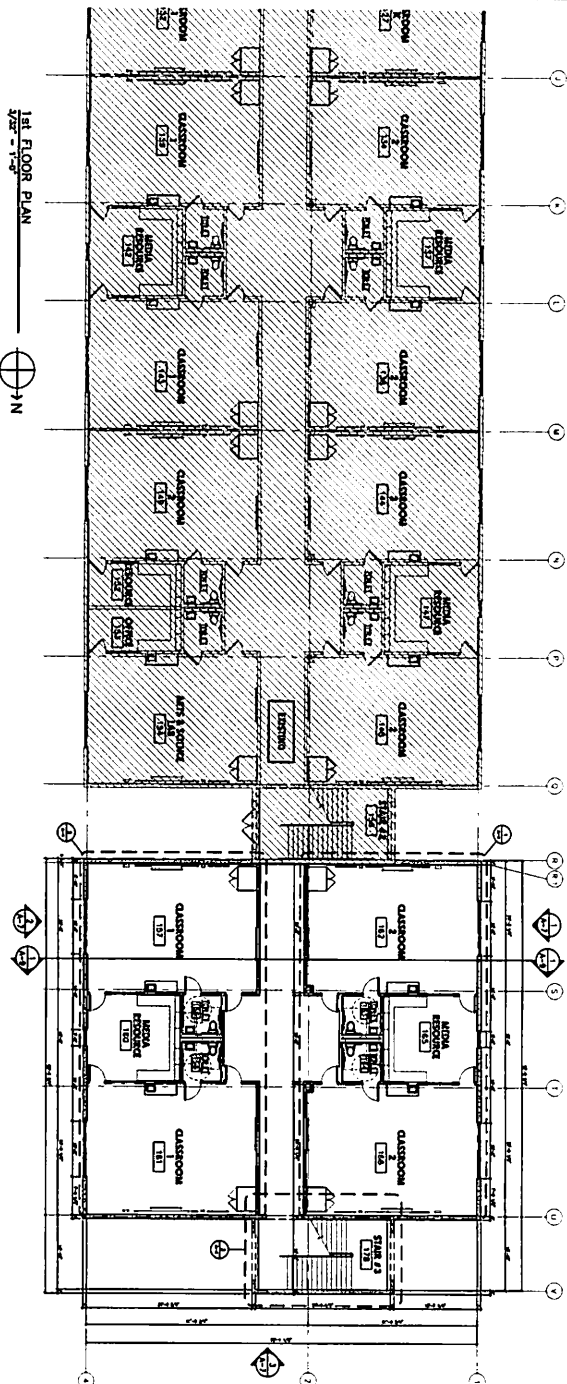


**CASTELLANOS
+ TRAMONTE
ARCHITECTS**

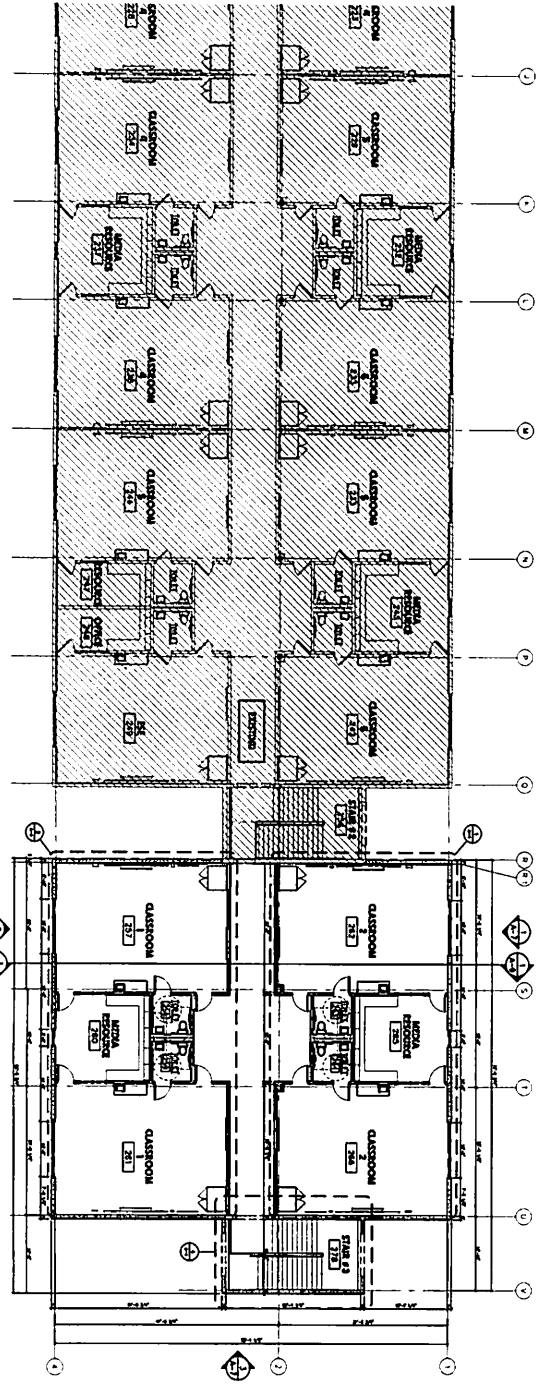
1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 26003303

CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

THESE PLANS AND SPECIFICATIONS FOR THE CHARTER ELEMENTARY SCHOOL NORTH, CAPE CORAL, FLORIDA, ARE HEREBY SUBMITTED FOR THE RECORD AND FOR THE PURPOSE OF RECORDING THE SAME IN THE PUBLIC RECORDS OF THE STATE OF FLORIDA.



- GENERAL NOTES:**
1. ROOMS AND AREAS SHOWN ARE THE MINIMUM REQUIRED. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE NEED FOR THE PROPOSED ROOMS AND AREAS.
 2. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE NEED FOR THE PROPOSED ROOMS AND AREAS.
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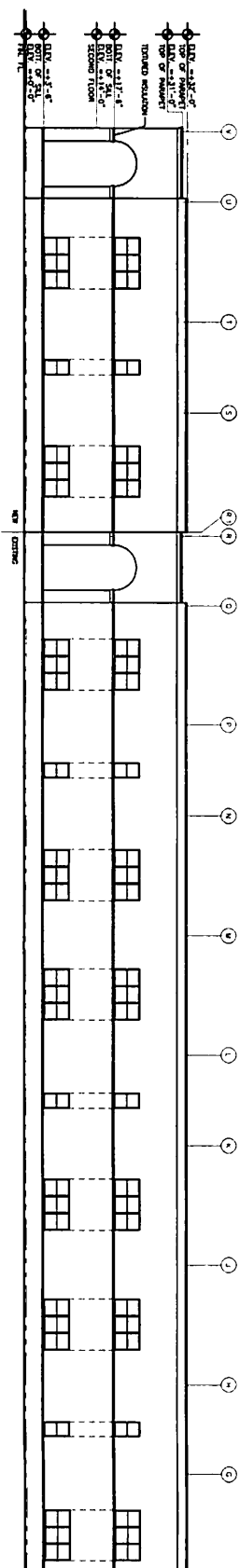
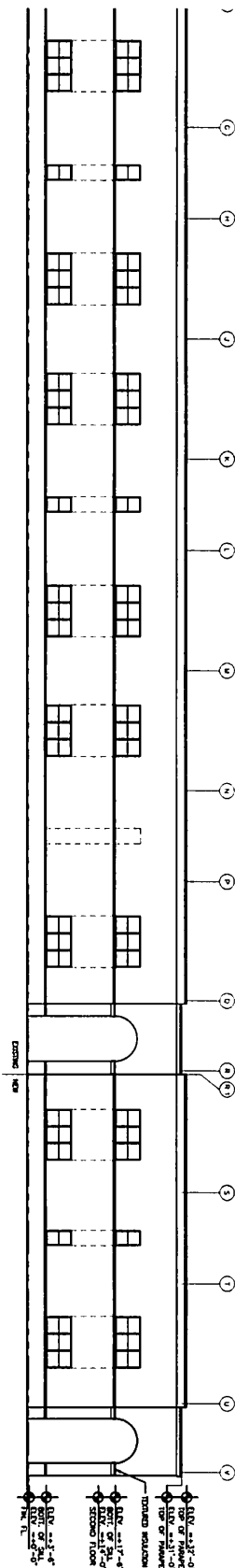
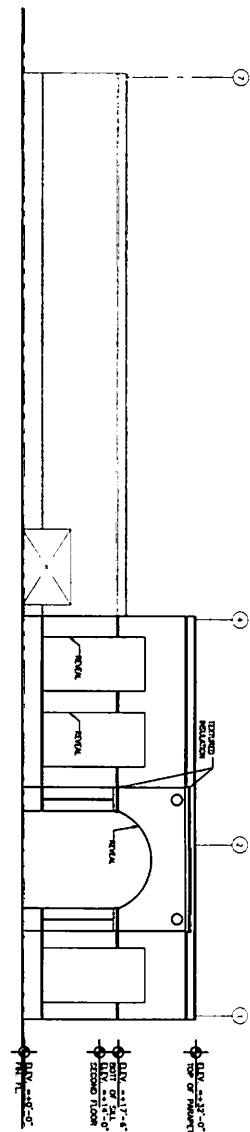
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2nd FLOOR PLAN
 1/2" = 1'-0"

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 (239) 549-0997

CHARTER ELEMENTARY SCHOOL NORTH
 CAPE CORAL, FLORIDA

A-2



PLANS HAVE BEEN PROVIDED IN COMPLIANCE WITH THE ILLINOIS BUILDING CODE, 6TH EDITION (2012) SECTION 1609 FROM 1.10 WITH AMENDMENTS AND THE ILLINOIS FIBER PROTECTION CODE 611.10-100.

ART A CASTILLANOS C NO ARCO 15473

SHEET

A-7

DRAWING NAME:
EXTerior ELEVATIONS

Drum by	DMA
Decoded by	MC
CSD FOR	

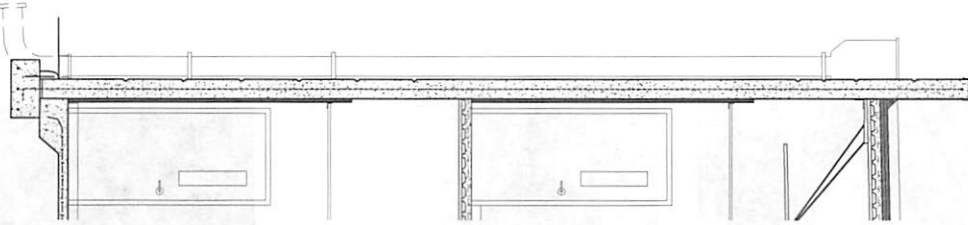


1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 26003303

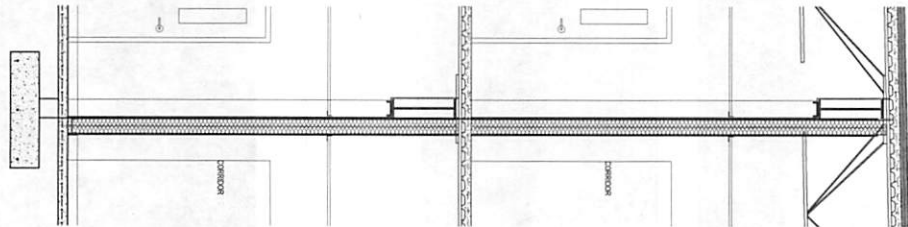
CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

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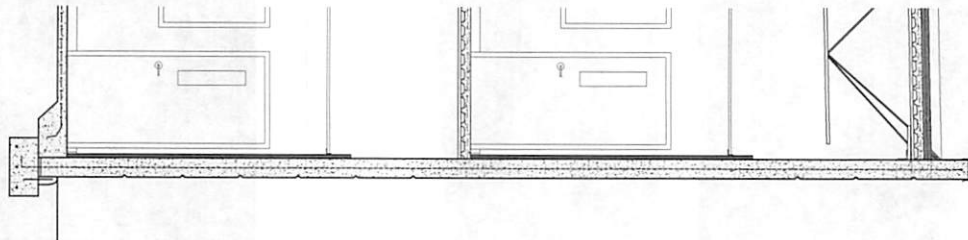
2 TYP. WALL SECTION
1/2" = 1'-0"



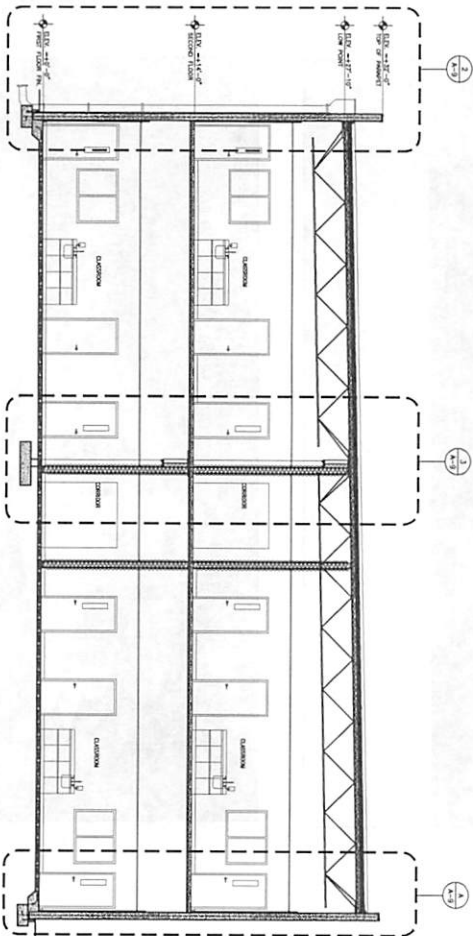
3 TYP. WALL SECTION
1/2" = 1'-0"



4 TYP. WALL SECTION
1/2" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, AS AMENDED, AND THE FLORIDA FIRE PREVENTION CODE. SEE SECTION 05100 FOR DETAILS.

ART. A. EXHIBITANTS
C. NO. 200015413

A-9

SHEET

DRAWING NAME:
SECTIONS & TYP.
WALL SECTIONS

DESIGNED BY	DM
CHECKED BY	MC
DATE	
BY	
DATE	

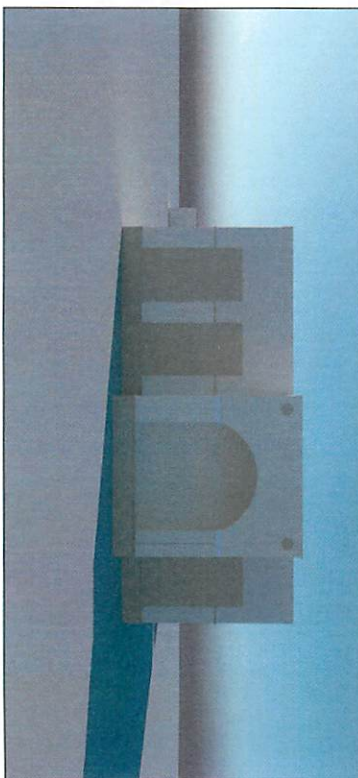
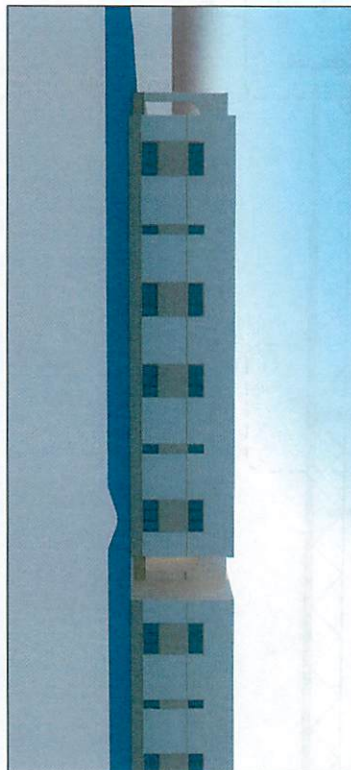
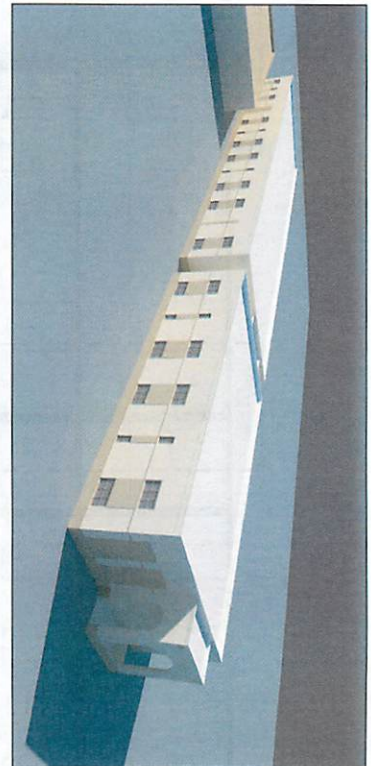
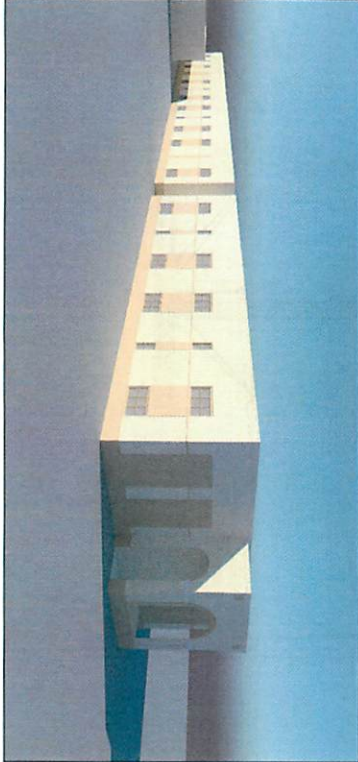
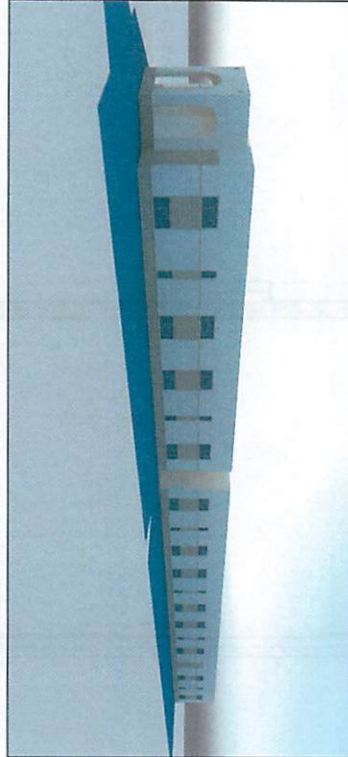
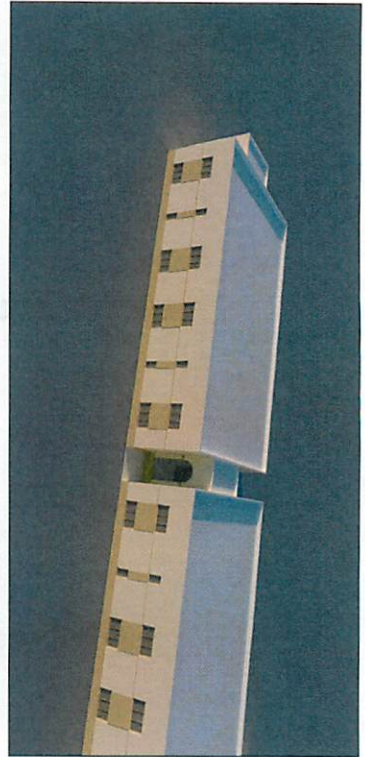


**CASTELLANOS
+ TRAMONTE
ARCHITECTS**

1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 26003303

CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

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CHARTER ELEMENTARY SCHOOL NORTH
CAPE CORAL, FLORIDA

**CASTELLANOS
+ TRAMONTE
ARCHITECTS**

1625 SE 46TH STREET SUITE 2A CAPE CORAL, FLORIDA 33904
(239) 549-0997 AA 2600330

DRAIN BY	BAW
CHECKED BY	MAC
ISSUED FOR	

DRAWING NAME:
PERSPECTIVES

SHEET

A-11

PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, 6TH EDITION (2017) SECTION 1609 FOR 170 WITH MODIFIED AND THE FLORIDA FIRE PREVENTION CODE 6TH EDITION

Conceptual Site Plan 3 with Modular Building Details

SPECIFICATIONS

3,584 sq. ft.

Classroom Space

56' x 64'

With 4' removable tow
hitch

4

Classrooms

8'

Ceiling

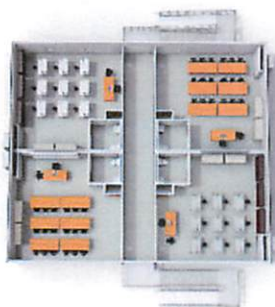
DESCRIPTION

With 4 modular classrooms, our 56' x 64' modular school building has a total of 3,584 square feet of teaching space.

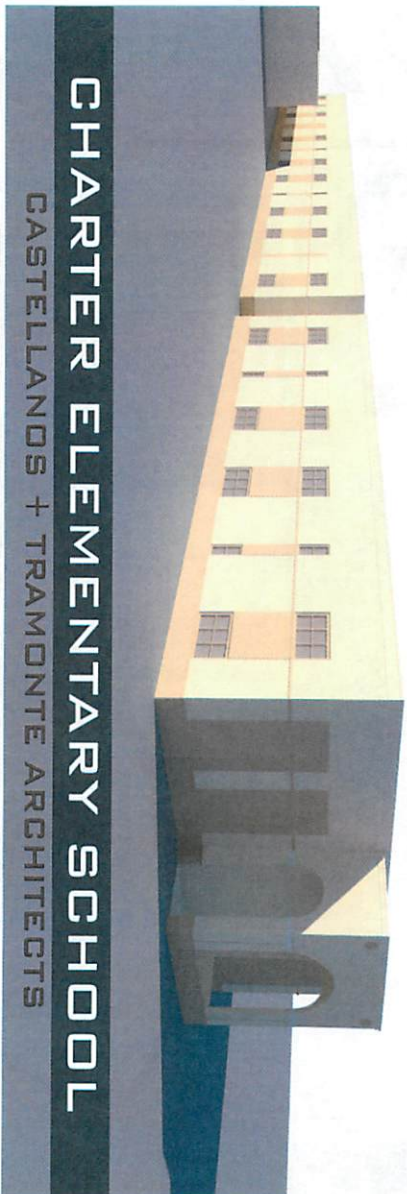
FEATURES

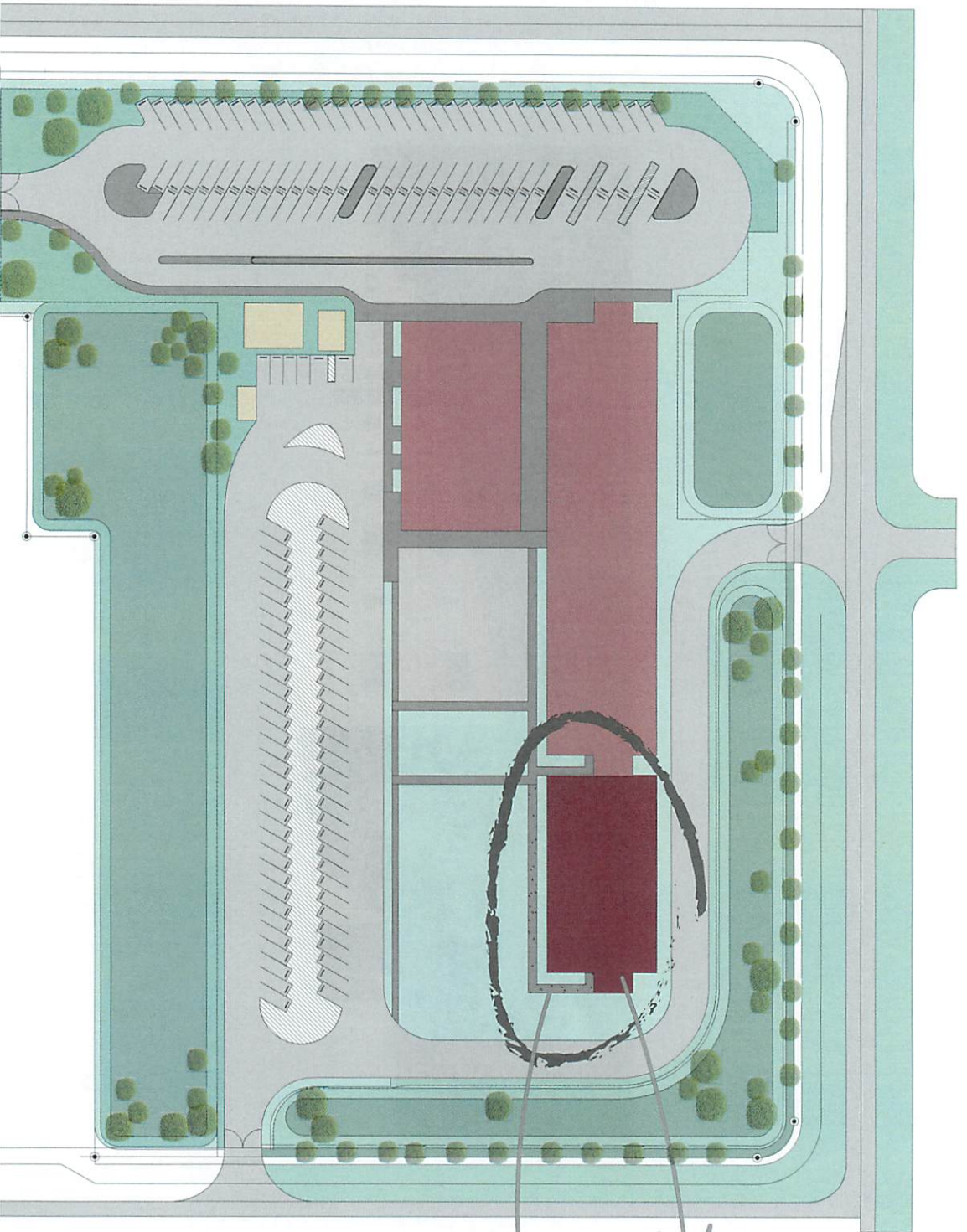
- EPDM Rubber Roof
- Smart panel wood exterior siding
- Low-E double-insulated glass windows
- Steel exterior doors with deadbolts & 10" x 10" vision window
- Central HVAC with programmable thermostats
- Acoustic or finished gypsum ceiling with fluorescent lighting
- Vinyl covered gypsum walls
- Commercial interior doors with steel jambs
- Commercial grade tile or carpet with base cove molding
- J-boxes & data closet
- ADA restrooms

All features noted are ModSpace standards. Specifications and floor plans may vary. All furniture shown is optional with the exception of built-ins as indicated in the individual specs. Wood, vinyl and metal exteriors, skirting and other custom features, options and finishes are available upon request.



Architectural Renderings



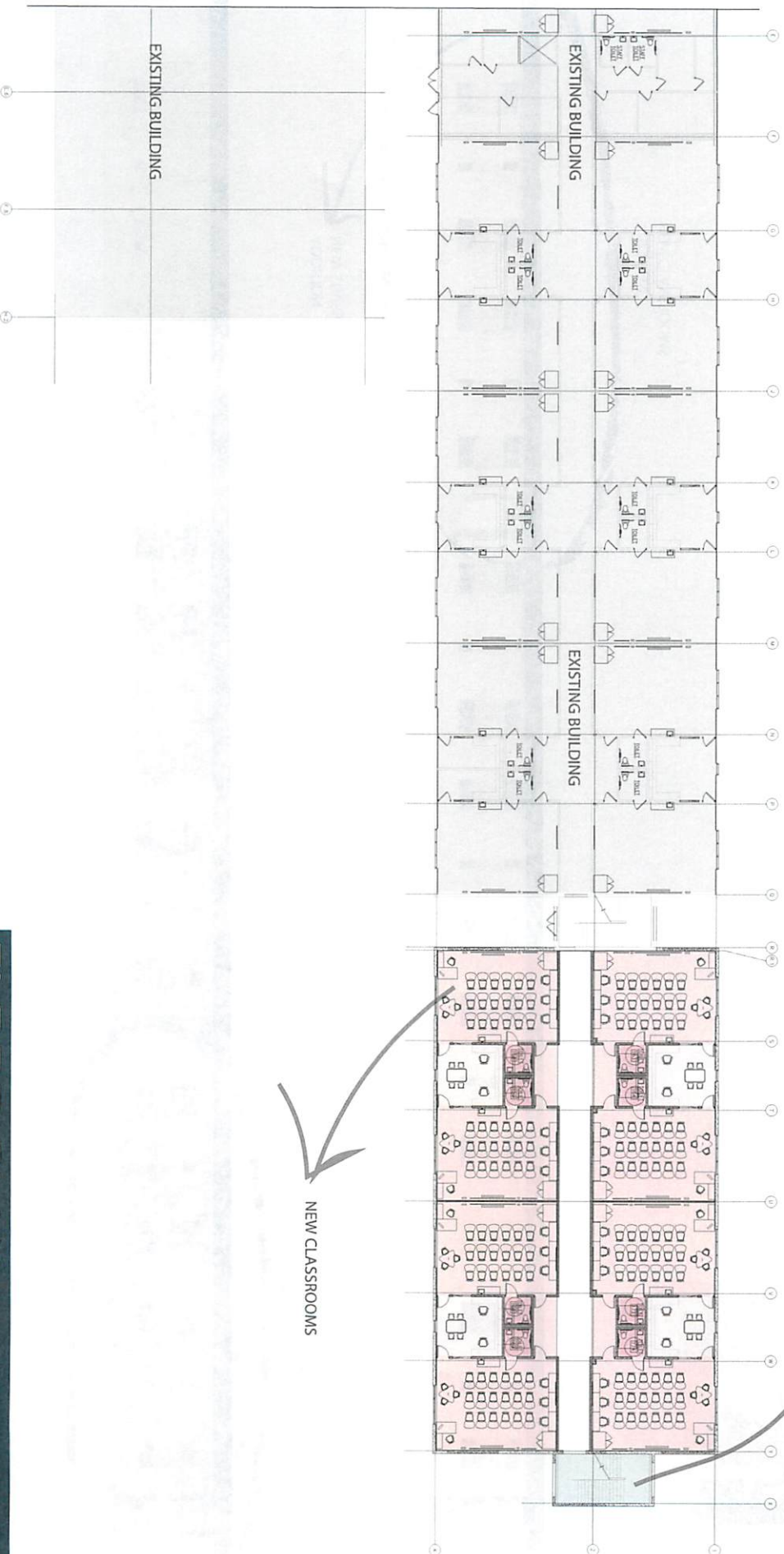


NEW CONCRETE
SITEWALK

NEW ADDITION
TO EXITING

SITE PLAN

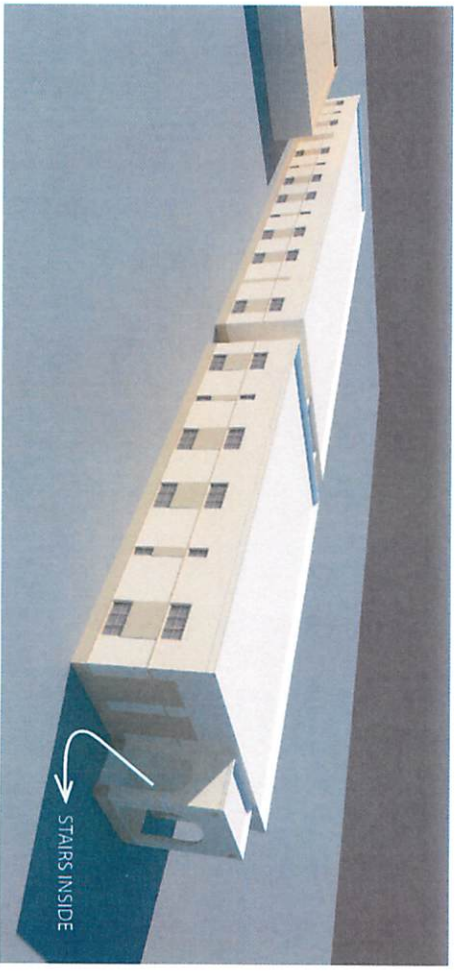
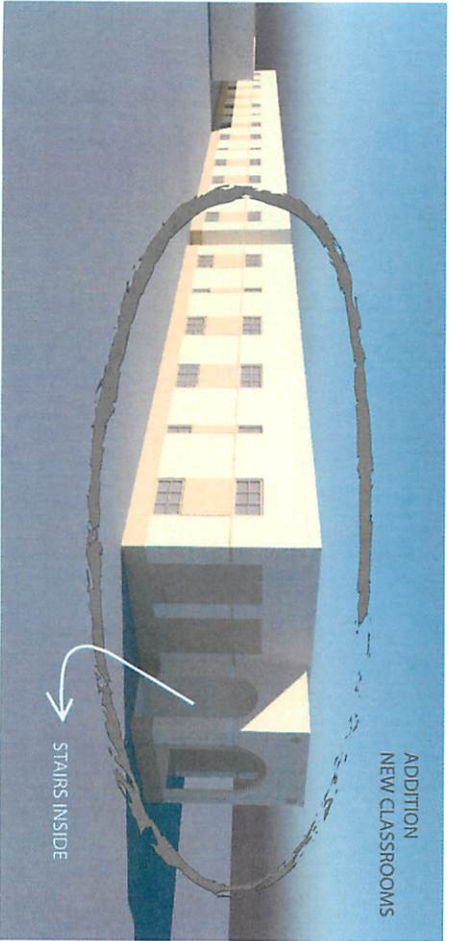
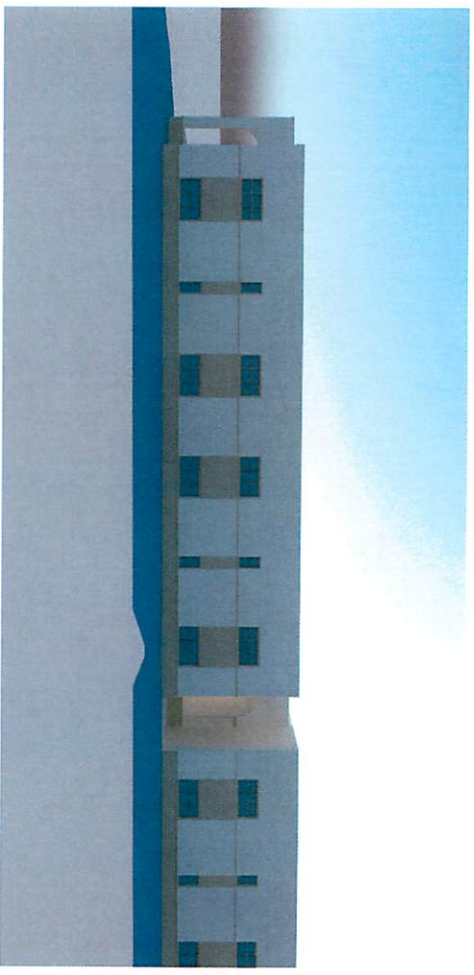
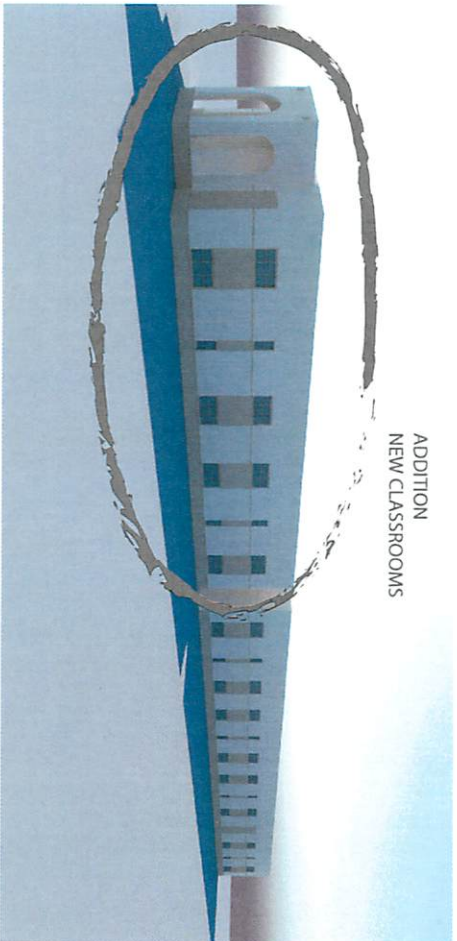
CASTELLANOS + TRAMONTE ARCHITECTS



FLOOR PLAN

CASTELLANDOS + TRAMONTE ARCHITECTS





Item Number: 14.A.
Meeting Date: 4/9/2019
Item Type: NEW BUSINESS:

AGENDA REQUEST FORM
City Of Cape Coral Charter School Authority

TITLE:

Discussion and Adoption of New Language for NEOLA POLICY 6210-FISCAL PLANNING - MaryAnne Moniz, Business Manager

SUMMARY:

Adoption of fiscal planning revised language.

ADDITIONAL INFORMATION:

This revised language aligns the CSA with City financial management policies.

RECOMMENDED ACTION:

Adopt new language of NEOLA POLICY 6210 - FISCAL PLANNING that deletes and replaces "annual resources " with "annual expenditures."

ATTACHMENTS:

Description	Type
▢ NEOLA POLICY 6210 - FISCAL PLANNING	Backup Material

Book **Policy Manual**
Section **6000 Finances**
 FISCAL PLANNING
Number **po6210**
Status **Proposed for Adoption**
Adopted

6210 – FISCAL PLANNING

The Governing Board shall collect and assemble the information necessary to discharge its responsibility for the fiscal management of the Authority and to plan for the financial needs of the educational program. The Board shall also maintain both short and long range projections of Authority financial requirements.

Pursuant to Florida, statutes and Policy 6220, the Board shall develop, advertise, and then approve a budget for each fiscal year. The tentative proposed budget and the adopted budget of the Board shall be posted on the Authority's official website.

Costs shall be contained, where possible, so that annual expenditures do not exceed the annual resources. The Charter School Authority shall maintain, at minimum an unassigned fund balance in its operating fund equal to 5% of the annual expenditures.

As required by Florida statutes and Board Policy 8310 – Public Records, all records related to the annual budget shall be open to the public for inspection.

It is understood that the Authority's records and financial statements shall be audited by the Auditor General, State of Florida, or, in those years not audited by the State Auditor General, by a contracted certified public accounting firm. The auditor shall prepare and submit to the Board an annual review and opinion of said records.

The Superintendent shall develop and update as needed the administrative procedures necessary to provide for an equitable distribution of resources within the authority and for the regular review of the fiscal budget.

Legal **F.S. 11.45, 218.39, 1001.42, 1010.30, 1013.35**

Last Modified November 8, 2017

Book	Policy Manual
Section	6000 Finances
	FISCAL PLANNING
Number	po6210
Status	Active
Adopted	April 12, 2016

6210 - FISCAL PLANNING

The Governing Board shall collect and assemble the information necessary to discharge its responsibility for the fiscal management of the Authority and to plan for the financial needs of the educational program. The Board shall also maintain both short and long range projections of Authority financial requirements.

Pursuant to Florida statutes and Policy 6220, the Board shall develop, advertise, and then approve a budget for each fiscal year. The tentative proposed budget and the adopted budget of the Board shall be posted on the Authority's official website.

Costs shall be contained, where possible, so that annual expenditures do not exceed the annual resources. Furthermore, the Board shall strive to maintain an unreserved fund balance in its operating funds equal to five percent (5%) of the annual resources.

As required by Florida statutes and Board Policy 8310 - Public Records, all records related to the annual budget shall be open to the public for inspection.

It is understood that the Authority's records and financial statements shall be audited by the Auditor General, State of Florida, or, in those years not audited by the State Auditor General, by a contracted certified public accounting firm. The auditor shall prepare and submit to the Board an annual review and opinion of said records.

The Superintendent shall develop and update as needed the administrative procedures necessary to provide for an equitable distribution of resources within the Authority and for the regular review of the fiscal budget.

Reola 2013

Legal F.S. 11.45, 218.39, 1001.42, 1010.30, 1013.35

Last Modified by Tammy R Shroyer on November 8, 2017

Item Number:	15.A.
Meeting Date:	4/9/2019
Item Type:	FINAL BOARD COMMENT AND DISCUSSION:

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

Governing Board Master Calendar - Board Chairman

SUMMARY:

Supplemental Category on Agenda

Mark Moriarty, Asst City Attny, had a great suggestion to help clarify board actions/discussions by adding a supplemental category to the Coversheet Preview. It's called "**Recommended Action**" and will help direct board response.

Thank You Mark, for a great idea, and the Governing Board for your patience in this matter. Moving forward please peruse your agendas for any information in this category that may be helpful to you.

ADDITIONAL INFORMATION:

April - Board Reorganization by vote - April 9
Superintendent's Contract Negotiations continue.

May - Superintendent's Performance Evaluation - May 2

Oasis High Class of 2019 Graduation - May 17

Superintendent's contract signed - by June 11

June - Superintendent's Performance Evaluation - June 11
Superintendent's New Contract *effective July 1, 2019*

FORM 1 - STATEMENT 2018 - due by June 28th.

July - GB is in *recess*.

August - New School Year Regular Meeting

RECOMMENDED ACTION:

Superintendent Observations/Review

* Superintendent Evaluation Forms sent by April 5, 2019. **DUE: MAY 2**

Please set-up an appointment with the Board Secretary if you would like to observe the superintendent in action, or ask questions before completion of her performance evaluation which is due May 2nd. Results will be appended to her personnel file by June 11, 2019.

Item Number:	16.A.
Meeting Date:	4/9/2019
Item Type:	TIME AND DATE OF NEXT MEETING

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

The next Regular Governing Board Meeting will be held on Tuesday, May 14, 2019 at 5:30p.m. in Cape Coral City Council Chambers, 1015 Cultural Park Blvd., Cape Coral, FL 33990

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION:

Item Number:	16.B.
Meeting Date:	4/9/2019
Item Type:	TIME AND DATE OF NEXT MEETING

AGENDA REQUEST FORM
City Of Cape Coral Charter School
Authority

TITLE:

The CSA Budget Workshop will be held on Thursday, April 11, 2019 from 8:00 a.m. to 1:00 p.m. at City of Cape Coral - Nicholas Annex, Green Room A-200, 815 Nicholas Parkway, Cape Coral, FL 33990

SUMMARY:

ADDITIONAL INFORMATION:

RECOMMENDED ACTION: